

**AGENDA  
CITY COUNCIL MEETING  
July 18, 2017**

1. [Approval of Minutes – July 6, 2017](#)

2. [Approval of Claims](#)

The City Council will be hearing public comments on the following agenda items: \_\_\_\_\_

Anyone desiring to view the Open Meetings Act may do so. The document is available for public inspection and is located on the south wall of the Council Chambers.

The City Council may go into closed session to discuss certain agenda items to protect the public interest or to prevent the needless injury to the reputation of an individual and if such individual has not requested a public hearing.

3. [Report to Council on LB840 Activity — Wes Blecke, Director of Wayne Area Economic Development](#)

4. [Public Hearing: Redevelopment Plan for the “Grainland Estates Project” \(Advertised Time: 5:30 p.m.\)](#)

**Background:** A copy of the Plan is in the packet.

5. [Resolution 2017-64: Approving a Redevelopment Plan as Contained in a Redevelopment Contract \(Grainland Estates Project\)](#)

**Recommendation:** The recommendation of the Planning Commission is to approve the Plan.

6. [Resolution 2017-65: Making a Determination of Sufficiency of Objections Filed to the Creation of Street Improvement District No. 2017-01 \(Crown II Project/Benscoter, Inc.\)](#)

**Background:** No objections to this Street Improvement District were filed with the City Clerk by the property owners.

7. [Resolution 2017-66: Approving Memorandum of Understanding between the City of Wayne and Wayne Country Club regarding the donation of the Clubhouse to the City of Wayne](#)

**Background:** A copy of the Memorandum of Understanding, with additional supporting documents, is in the packet.

8. [Ordinance 2017-21: Adopting the Wayne Comprehensive Plan \(Third and Final Reading\)](#)

9. Ordinance 2017-22: Amending Wayne Municipal Code Section 152.139 Parking Regulations, specifically off-street parking requirements (Second Reading)
10. Ordinance 2017-24: Amending Wayne Municipal Code Sec. 78-133 relating to restricted parking 12:00 midnight to 5:00 a.m.; southwest quadrant of the City (North side of Clark Street)
11. Ordinance 2017-25: Amending Wayne Municipal Code Sec. 78-174 Truck Parking; Where Designated (Delete north side of Clark Street)
12. Action to set a date to have a joint meeting with the City of Wakefield Board Members, Northeast Nebraska Public Power District Board Members and the Wayne City Council

**Background: Wayne, Wakefield and Northeast Nebraska Public Power District did not renew their contracts with NPPD and now must take over the management of their system purchases and operations. We have mutual interests that can be coordinated for the benefit of all three.**

13. Appointment of Old Pool Use Committee
14. Appointment of Lagoon Use Committee
15. Adjourn

**MINUTES  
CITY COUNCIL MEETING  
July 6, 2017**

The Wayne City Council met in regular session at City Hall on Thursday, July 6, 2017, at 5:30 o'clock P.M. Mayor Ken Chamberlain called the meeting to order with the following in attendance: Councilmembers Cale Giese, Rod Greve, Jon Haase, Jennifer Sievers, Jason Karsky, Matt Eischeid and Jill Brodersen; City Attorney Amy Miller; City Administrator Lowell Johnson; and City Clerk Betty McGuire.

Notice of the convening meeting was given in advance by advertising in the Wayne Herald on June 22, 2017, and a copy of the meeting notice and agenda were simultaneously given to the Mayor and all members of the City Council. All proceedings hereafter shown were taken while the Council convened in open session.

Mayor Chamberlain requested Council consideration to the following mayoral appointment: Terri Buck to fill the vacancy in Ward One.

Councilmember Brodersen made a motion, which was seconded by Councilmember Sievers, approving the mayoral appointment of Terri Buck as First Ward Councilmember. Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Attorney Miller presented the oath of office to Terri Buck.

Councilmember Sievers made a motion, which was seconded by Councilmember Giese, whereas, the Clerk has prepared copies of the Minutes of the meeting of June 20, 2017, and that each Councilmember has had an opportunity to read and study the same, and that the reading of the Minutes be waived and declared approved. Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried and the Minutes approved.

The following claims were presented to Council for their approval:

**VARIOUS FUNDS:** AGUIRRE, A VERNONA, RE, 315.95; AMERITAS, SE, 2308.38; AMERITAS, SE, 89.46; AMERITAS, 72.00; AMERITAS, SE, 60.90; APPEARA, SE, 147.16; BETTY S REEG REVOCABLE TRUST, RE, 2100.06; BINSWANGER GLASS, SE, 468.00; BLACK HILLS ENERGY, SE, 426.45; BLUE CROSS BLUE SHIELD, SE, 36892.75; BOMGAARS, SU, 2617.88; BRITTANY JANSSEN, RE, 150.00; BSN SPORTS, SU, 828.19; CARHART LUMBER COMPANY, SU, 379.58; CARTER PETERSON, RE, 1021.26; CENTURYLINK, SE, 415.93; CITY EMPLOYEE, RE, 150.00; CITY EMPLOYEE, RE, 55.00; CITY EMPLOYEE, RE, 966.65; CITY EMPLOYEE, RE, 137.20; CITY EMPLOYEE, RE, 88.70; CITY EMPLOYEE, RE, 113.11; CITY OF WAYNE, PY, 86002.00; COMMUNITY HEALTH, RE, 3.00; CORNERSTONE LLC, RE, 75.00; DAS STATE ACCTG-CENTRAL FINANCE, SE, 448.00; DEARBORN NATIONAL LIFE, SE, 41.28; DGR & ASSOCIATES, SE, 5471.67; EAKES OFFICE PLUS, SU, 21.00; ECHO GROUP, SU, 29.99; EVERETT SCHULTZ, SE, 650.00; FIRST CONCORD GROUP, SE, 2748.44; FLOOR MAINTENANCE, SU, 964.25; FOURTH GENERATION FAMILY, RE, 14451.31; GERHOLD CONCRETE, SU, 8118.05; GIS WORKSHOP, SE, 4200.00; GROSSENBURG IMPLEMENT, SU, 530.13; H.K. SCHOLZ COMPANY, SE, 3173.50; HD SUPPLY WATERWORKS, SU, 4000.00; HEARTLAND STAINLESS, SE, 51.40; HELENA CHEMICAL, SU, 47.50; HOLIDAY INN OF KEARNEY, SE, 343.80; HOMETOWN LEASING, SE, 412.86; HYDRAULIC SALES & SERVICE, SU, 112.18; ICMA, SE, 9500.99; INTERSTATE ALL BATTERY, SU, 187.10; IRS, TX, 14635.46; IRS, TX, 12840.63; IRS, TX, 3422.80; IRS, TX, 37.20; IRS, TX, 8.70; IRS, TX, 5.58; JAIRO MOTINO, RE, -20.00; JENNIFER VICK, FE, 50.00; JESSI JENSEN, RE, 100.00; JESSIE HENDERSON, RE, 150.00; JORGENSEN, KEN, RE, 682.07; JULIE BOSE, RE, 35.00; KARIAN PETERSON POWER LINE CONTRACTING, SE, 53685.94; KATHLEEN A LAUGHLIN, CHAPTER 13 TRUSTEE, RE, 243.00; KELLY SUPPLY, SU, 73.51; KEPKO ENGRAVING, SE, 13.57; KRIZ-DAVIS, SU, 3227.65; LAQUINTA INNS & SUITES, SE, 130.00; LEAGUE OF NEBRASKA MUNICIPALITIES, FE, 886.00; LIFETIME PRODUCTS, SU, 1949.99; LINARES, OSCAR, RE, 69.43; LORENZEN, HANNAH, RE, 112.70; LUCAS THOMPSON, RE, 250.00; METERING & TECHNOLOGY SOLUTIONS, SU, 929.16; MID PLAINS GRAIN, RE, 6982.34; MIKEY C PRODUCTIONS, SE, 180.00; MUNICIPAL SUPPLY, SU, 2237.42; MZRB LLC, RE, 3161.83; NNEDD, SE, 783.00; NAPA OF WAYNE, SU, 10.27; NE AIR FILTER, SU, 133.99; NE DEPT OF REVENUE, TX, 4177.43; NE DEPT OF REVENUE, TX, 2.62; NUGENT, HALEY, RE, 162.99; RESCO, SU, 833.59; ROBERTSON IMPLEMENT, SE, 297.97; RODNEY R TOMPKINS IRREVOCABLE TRUST, RE, 1820.58; SCOT A. SAUL, SE, 75.00; SCOT A. SAUL, SE, 25.00; SHARP CONSTRUCTION, RE, 100.00; STADIUM SPORTING GOODS, SU, 1462.00; TIMOTHY J & LESLIE A BEBEE, RE, 1384.96; TOELLE, RILEY, RE, 70.39; TYLER TECHNOLOGIES, SE, 200.00; UNITED WAY, RE, 5.00; US BANK, SU, 5641.52; UTILITIES SECTION, SE, 4130.00; VAN DIEST SUPPLY, SU, 404.00; VIAERO, SE, 223.64; WALSH, NANCI, SE, 400.00; WAYNE COUNTY COURT, RE, 77.50; WESCO, SU, 1098.89; WIGMAN COMPANY, SU, 355.78; WISNER WEST, SU, 35.00; ZEE MEDICAL SERVICE, SU, 43.39; ZIMCO SUPPLY, SU, 880.00; AMERICAN BROADBAND, SE, 2467.40; AMERITAS, SE, 56.75; AMERITAS, SE, 2302.34; AMERITAS, SE, 94.08; AMERITAS, SE, 72.00; AXON ENTERPRISE, SU, 367.02; BARTELS, MARY, RE, 65.88; BENSCOTER CONSTRUCTION, RE, 250.00; BSN SPORTS, SU, 366.36; CITY EMPLOYEE, RE, 241.00; CITY EMPLOYEE, RE, 1790.30; CITY EMPLOYEE, RE, 265.39; CITY OF WAYNE, PY, 85837.38; CLARK, KINSEY, RE, 135.79; COMMUNITY HEALTH, RE, 3.00; COPY WRITE, SE, 377.46; DAVIS, JAMIE, RE, 68.33; EAKES OFFICE PLUS, SE, 204.29; EASYPERMIT POSTAGE, SU, 1689.52; ELECTRONIC ENGINEERING, SE, 285.00; FASTENAL, SU, 28.46; FREDRICKSON OIL, SE, 1204.98; GALE/CENGAGE, SU, 126.05; GEHRING, ANTHONY, RE, 86.77; GERHOLD CONCRETE, SU, 2898.95; GILL HAULING, SE, 170.50; GROSSENBURG IMPLEMENT, SU, 528.91; HAWKINS, INC, SU, 2456.43; HEITHOFF, ANDREW, RE, 46.10; HELENA CHEMICAL, SU, 47.50; HEMPEL, STEPHANIE, RE, 135.96; HERITAGE INDUSTRIES, SE, 1600.00; ICMA, SE, 9,491.01; IRS, TX, 13090.62;

IRS, TX, 14803.38; IRS, TX, 3462.10; JACKSON, SHATINA, RE, 103.14; JEO CONSULTING GROUP, SE, 982.50; KATHLEEN A LAUGHLIN, CHAPTER 13 TRUSTEE, RE, 243.00; KEPSCO ENGRAVING, SU, 23.67; MCLAURY ENGINEERING, SE, 51970.00; MILLER LAW, SE, 5048.70; NAPA OF WAYNE, SU, 134.88; NE DEPT OF REVENUE, TX, 4254.67; NE LAW ENFORCEMENT, SE, 10.00; NE NEB INS AGENCY, SE, 73344.00; NNPPD, SE, 6213.00; OCC BUILDERS LLC, SE, 123719.00; O'REILLY AUTOMOTIVE STORES, SU, 2.00; OVERDRIVE, INC, SU, 494.86; PAC N SAVE, SU, 136.14; QUALITY FOOD, SU, 14.74; QUALITY FOOD, SU, 262.32; RIEF, ZACHARY, RE, 32.62; ROGER HAMMER, RE, 100.00; STADIUM SPORTING GOODS, SE, 20.00; THRASHER, RE, 200.00; UNITED WAY, RE, 5.00; UTILITY EQUIPMENT, SU, 517.00; WASTE CONNECTIONS, SE, 281.60; WAED, RE, 7216.66; WAYNE COMMUNITY SCHOOLS, RE, 100.00; WAYNE COUNTY COURT, RE, 150.00; WAYNE COUNTY COURT, RE, 400.00; WAYNE STATE COLLEGE, RE, 250000.00; WAPA, SE, 22509.52; WIGMAN COMPANY, SU, 203.47

Councilmember Giese made a motion, which was seconded by Councilmember Haase, to approve the claims. Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Mayor Chamberlain advised the public that a copy of the Open Meetings Act was located on the south wall of the Council Chambers and was available for public inspection. In addition, he advised the public that the Council may go into closed session to discuss certain agenda items to protect the public interest or to prevent the needless injury to the reputation of an individual and if such individual has not requested a public hearing.

Garek Bebee, owner of Rezurrected Rod & Kustom, was present to request a one-hour time limit on 2-3 parking spaces on the north side of Clark Street. Since he has had the business in this building, the traffic flow has increased in this area. He is concerned about semi-trailers parking on that portion of the street as well. His concern is also for safety reasons, not only for the public, but also for his customers.

Mayor Chamberlain recommended bringing forward two ordinances: one for removing the truck parking on that portion of the street and another for establishing no parking from midnight to five a.m.

Councilmember Brodersen made a motion, which was seconded by Councilmember Sievers, to bring forward an ordinance for Council action at the next meeting to remove the truck

parking on the north side of Clark Street. Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Councilmember Sievers introduced Ordinance 2017-20 and moved for approval of the third and final reading thereof; Councilmember Brodersen seconded.

ORDINANCE NO. 2017-20

AN ORDINANCE AMENDING TITLE V PUBLIC WORKS, CHAPTER 53 WATER SYSTEM, SECTION 53.038 APPROVAL; TO PROVIDE FOR THE REPEAL OF CONFLICTING ORDINANCES OR SECTIONS; AND TO PROVIDE FOR AN EFFECTIVE DATE.

Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Councilmember Sievers introduced Ordinance 2017-21, and moved for approval of the second reading thereof; Councilmember Brodersen seconded.

ORDINANCE NO. 2017-21

AN ORDINANCE ADOPTING AND INCORPORATING BY REFERENCE THE COMPREHENSIVE PLAN FOR THE CITY OF WAYNE, NEBRASKA, AND REPEALING ALL OTHER ORDINANCES, REGULATIONS, AND COMPREHENSIVE PLANS IN CONFLICT THEREWITH.

Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried. The third and final reading will take place at the next meeting.

Discussion took place again on Ordinance No. 2017-22, which would amend Sec. 152-130 of the Wayne Municipal Code, relating to Parking Regulations, specifically off-street parking requirements. This was tabled from the last meeting.

Joel Hansen, City Planner, was present to answer questions. The proposed ordinance would affect new businesses, etc.

A suggestion made on “residential structures” was to have 1 space per dwelling unit, plus an additional space for each sleeping room. Another was to eliminate the loading dock requirement.

Councilmember Giese introduced Ordinance 2017-22 and moved for approval thereof, with the following amendments thereto:

- Residential Structures - One space per dwelling unit, plus one space per sleeping room; and
- Removing the loading dock requirement for service establishments.

Councilmember Brodersen seconded.

#### ORDINANCE NO. 2017-22

AN ORDINANCE AMENDING TITLE XV LAND USAGE, CHAPTER 152 ZONING (SUPPLEMENTARY DISTRICT REGULATIONS), SECTION 152.139 PARKING REGULATIONS; TO PROVIDE FOR THE REPEAL OF CONFLICTING ORDINANCES OR SECTIONS; AND TO PROVIDE FOR AN EFFECTIVE DATE.

Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried. The second reading will take place at the next meeting.

The following Resolution is a requirement by the Nebraska Department of Roads when a State highway will be closed for a celebration/parade. This Resolution pertains to the Wayne State College Homecoming Parade and Band Day on Saturday, October 7, 2017.

Councilmember Sievers introduced Resolution No. 2017-57 and moved for its approval; Councilmember Giese seconded.

#### RESOLUTION NO. 2017-57

A RESOLUTION ACKNOWLEDGING NEBRASKA DEPARTMENT OF ROADS' REQUIREMENTS FOR THE TEMPORARY USE OF THE STATE HIGHWAY SYSTEM FOR SPECIAL EVENTS.

Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Steve Rames of McLaury Engineering, Inc., was present to review the bids received on the "Beaumont First Addition Water and Sewer Extension Project." Three bids were received on June 29, 2017. All bidders acknowledged the addendums and included a 5% bid bond. One irregularity was present in Penro Construction's bid. Penro's written Total Bid Price was

\$259,922.60; however, their bid form did not include a unit price or extended price for Mobilization under the Water Main Items. Article 19 of the Instruction to Bidders provides direction under Sec. 19.03.B for determination of the apparent low bidder when unit bid prices are submitted. In this situation, this discrepancy does not alter Penro Construction's status as low bidder. After review of the bids and the form of bid discrepancy with the City's counsel, Mr. Rames recommended that Penro Construction be awarded the project at the value written as their "Total Bid Price" of \$259,922.60.

Councilmember Sievers introduced Resolution No. 2017-58 and moved for its approval; Councilmember Giese seconded the motion.

#### RESOLUTION NO. 2017-58

A RESOLUTION ACCEPTING BID AND AWARDING CONTRACT ON THE "BEAUMONT FIRST ADDITION WATER AND SEWER EXTENSION PROJECT" TO PENRO CONSTRUCTION COMPANY, INC., FOR \$259,922.60.

Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Steve Rames of McLaury Engineering, Inc., was present to review the bids received on the "4<sup>th</sup> Street Paving Project." Three bids were received on June 29, 2017. All bids were in compliance with the Instructions to Bidders, and all bidders have been determined to be responsible.

Based on the bid results, his recommendation was to award the base bid to the lowest bidder, A&R Construction - \$712,528.27, and any selected alternate bids to A&R Construction.

Alternate bids were as follows:

- Alternate 1 – Replacing the reinforced concrete storm sewer pipe with HDPE storm sewer – which was a deduct of \$11,497.50;
- Alternate 2 – Paving Rugby Road – increase of \$103,204; and
- Alternate 3 – Paving or extending 4<sup>th</sup> Street to the fence – increase of \$66,968.00.

Lou Benscoter was present to answer questions, and stated if he could be assured there would be no change orders, he would be in favor of Alternate 3.

The recommendation was to not approve Alternate 1. By accepting the base bid without Alternate 1, the project will have concrete storm sewer pipe.

Discussion took place in regard to the paving Alternates. Mr. Rames noted that if Rugby Road is not going to be paved, then changes would need to be made to the storm sewer configuration. A suggestion was to receive public input on those matters before approving or not approving the same.

Mr. Rames stated the base bid must be awarded this evening. Alternate 2 and 3 could be added at a later date via change orders.

Councilmember Giese did not like the idea of paving Rugby Road until they know what they are going to do with the lagoon.

Councilmember Eischeid wanted to approve the base bid this evening and put the question out to the general public about paving Rugby Road to the Summer Sports Complex. In regard to the 4<sup>th</sup> Street paving project, he thought it was a road going nowhere now.

Councilmember Giese introduced Resolution No. 2017-59, awarding the base bid to A&R Construction Co., for \$712,528.27, and rejecting all of the alternates, and moved for its approval; Councilmember Greve seconded the motion.

#### RESOLUTION NO. 2017-59

A RESOLUTION ACCEPTING BID AND AWARDING CONTRACT ON THE "BEAUMONT FIRST ADDITION WATER AND SEWER EXTENSION PROJECT."

After discussion, Councilmember Giese amended his motion to approve and accept the base bid of \$712,528.27; Councilmember Greve amended his second.

Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Administrator Johnson presented and reviewed the "Beaumont Subdivision Agreement."

Councilmember Brodersen introduced Resolution No. 2017-60 and moved for its approval; Councilmember Giese seconded the motion.

RESOLUTION NO. 2017-60

A RESOLUTION APPROVING THE BEAUMONT SUBDIVISION AGREEMENT.

Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Administrator Johnson stated the following Resolution would rescind the Council action taken at the previous meeting on the Benscoter, Inc. – Crown II Housing Project to set aside 5% of the Tax Increment Financing (TIF) bond to be used for parks. Our special legal counsel on TIF matters, Mike Bacon, has determined that any use of TIF funds must be for a specific item and physically located in the subdivision that generates the incremental real estate taxes.

Councilmember Sievers introduced Resolution No. 2017-61 and moved for its approval; Councilmember Brodersen seconded the motion.

RESOLUTION NO. 2017-61

A RESOLUTION OF THE MAYOR AND COUNCIL OF THE CITY OF WAYNE, NEBRASKA, APPROVING A REDEVELOPMENT PLAN; AND RELATED MATTERS

Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

The following Resolution pertains to the Benscoter, Inc. – Crown II Housing Project and is the same one that was originally brought forward at the last meeting.

Lou Benscoter, representing Benscoter, Inc., had a proposal for Council. The bio-swale south of the new motel was part of the land he had to donate for the park fee. He would be in favor of taking \$20,000 of the TIF money, and if the City would want to buy the storm sewer pipe, he would install it. He has enough excess dirt that he will install that pipe and level that ground if the Council would take the \$20,000 and put a park in there.

Councilmember Giese opined he would not be in favor of putting in any new parks. In addition, he felt the park fee ordinance needed to be reviewed.

Councilmember Sievers introduced Resolution No. 2017-62 and moved for its approval; Councilmember Greve seconded the motion.

RESOLUTION NO. 2017-62

A RESOLUTION OF THE MAYOR AND COUNCIL OF THE CITY OF WAYNE, NEBRASKA, APPROVING A REDEVELOPMENT PLAN; AND RELATED MATTERS

Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Discussion took place on Resolution 2017-63, which would have amended Resolution 1990-6, approved on February 13, 1990, to strike the word “overhead” in the body thereof.

Attorney Miller did not recommend approving this Resolution and the City jeopardizing its position.

After discussion, said Resolution died for lack of a motion.

Mayor Chamberlain requested Council consideration to the following reappointment to the Planning Commission: Pat Melena – term will end 6/30/20.

Councilmember Eischeid made a motion, which was seconded by Councilmember Brodersen, approving the reappointment of Pat Melena to the Planning Commission. Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Mayor Chamberlain requested Council consideration to the following reappointment to the Planning Commission: Breck Giese – term will end 6/30/20.

Councilmember Eischeid made a motion, which was seconded by Councilmember Brodersen, approving the reappointment of Breck Giese to the Planning Commission. Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Mayor Chamberlain requested Council consideration to the following reappointment to the Recreation-Leisure Services Commission: Doug Sturm – term will end 4/30/20.

Councilmember Eischeid made a motion, which was seconded by Councilmember Brodersen, approving the reappointment of Doug Sturm to the Recreation-Leisure Services Commission. Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Mayor Chamberlain requested Council consideration to the following reappointment to the Board of Adjustment: Breck Giese – term will end 6/30/20.

Councilmember Eischeid made a motion, which was seconded by Councilmember Brodersen, approving the reappointment of Breck Giese to the Board of Adjustment. Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Mayor Chamberlain requested Council consideration to the following reappointment to the Board of Adjustment: BJ Woehler – term will end 6/30/20.

Councilmember Eischeid made a motion, which was seconded by Councilmember Brodersen, approving the reappointment of BJ Woehler to the Board of Adjustment. Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Mayor Chamberlain requested Council consideration to the following reappointment to the Board of Adjustment: Bob Woehler (Alternate) – term will end 6/30/20.

Councilmember Eischeid made a motion, which was seconded by Councilmember Brodersen, approving the reappointment of Bob Woehler (Alternate) to the Board of Adjustment. Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Mayor Chamberlain requested Council consideration to the following reappointment to the Board of Appeal: Matt Wachter – term will end 8/31/20.

Councilmember Eischeid made a motion, which was seconded by Councilmember Brodersen, approving the reappointment of Matt Wachter to the Board of Appeal. Mayor

Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Mayor Chamberlain requested Council consideration to the following reappointment to the Housing Authority: Pat Gross – term will end 6/30/22.

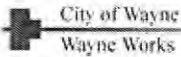
Councilmember Eischeid made a motion, which was seconded by Councilmember Brodersen, approving the reappointment of Pat Gross to the Housing Authority. Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Mayor Chamberlain requested Council consideration to the following appointment to the Planning Commission: Matt Jones – term will end 6/30/20.

Councilmember Eischeid made a motion, which was seconded by Councilmember Brodersen, approving the appointment of Matt Jones to the Planning Commission (replacing Michelle Davison). Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Councilmember Giese made a motion, which was seconded by Councilmember Sievers, setting the following date for the budget work session: August 1, 2017, after the regular Council meeting and then Tuesday, August 8<sup>th</sup>, if needed. Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried.

Councilmember Giese made a motion, which was seconded by Councilmember Sievers, to adjourn the meeting. Mayor Chamberlain stated the motion, and the result of roll call being all Yeas, the Mayor declared the motion carried and the meeting adjourned at 7:10 p.m.



Vendor	Payable Description	Payment Total
APPEARA	LINEN & MAT SERVICE	183.25
AUTO ANATOMY ALTERNATIVES, INC	URETHANE TOP COAT PAINT/ACTIVATOR	260.93
BAKER & TAYLOR BOOKS	BOOKS	850.29
BARONE SECURITY SYSTEMS	FIRE MONITORING	1,155.60
BROWN SUPPLY CO	OPERATING NUTS/BOLTS	1,157.23
CARROLL DISTRIBUTING	SPRAYER	333.69
CDW GOVERNMENT LLC	EMAIL ANTIVIRUS/SPAM FILTER	1,950.01
CHARTWELLS	SENIOR CENTER MEALS	4,243.15
CITY EMPLOYEE	MEDICAL REIMBURSEMENT	15.54
CITY EMPLOYEE	VISION REIMBURSEMENT	147.20
CITY OF WAYNE	WAED MEDICAL REIMBURSEMENT	3,876.21
COUNTRY NURSERY INC	GRASS SEED	156.00
D & K PRODUCTS	FERTILIZER	40.00
DAVE'S DRY CLEANING	POLICE UNIFORM CLEANING	49.00
DEREK CROSBY	SLOW PITCH SOFTBALL UMPIRE	275.00
DIANA LANGEMEIER	MOWING	382.50
DITCH WITCH OF OMAHA	KLIP RING	16.16
DUTTON-LAINSON COMPANY	BOX PAD/METERS/LIGHT BULBS	3,038.20
ECHO GROUP INC JESCO	ELEMENT FUSES	229.20
ELLIS HOME SERVICES	DISHWASHER/SHOWER LEAK REPAIRS	140.00
EMPLOYERS MUTUAL CASUALTY CO	WORK COMP	500.00
FLETCHER, IRENE	HEALTH REIMBURSEMENT	3,876.21
FLOOR MAINTENANCE	GLOVES/NAPKINS/LIDS/CUPS/JANITORIAL SUPPLIES	272.81
GERHOLD CONCRETE CO INC.	CONCRETE-5TH/DEARBORN	3,268.60
HASEMANN, SCOTT	SWIM LESSON REFUND	35.00
HEWLETT PACKARD ENTERPRISE CO	SERVER WARRANTY RENEWAL	1,558.81
HP INC.	COMPUTER	1,104.54
INGRAM LIBRARY SERVICES	BOOKS	576.65
INTERNATIONAL PUBLIC MANAGEMENT	POLICE OFFICER EXAMS	171.00
ITRON	HARDWARE/SOFTWARE MAINTENANCE	3,771.07
KEN MAERTINS	SLOW PITCH SOFTBALL UMPIRE	250.00
KEPCO ENGRAVING	NAMEPLATES	13.57
KNIFE RIVER MIDWEST LLC	ASPHALT MIX	1,624.05
KOEPEE, BRANDON	SLOW PITCH SOFTBALL UMPIRE	125.00
KRIZ-DAVIS COMPANY	COMPRESSION/PARALLEL CONNECTORS	1,032.55
KTCH AM/FM RADIO	RADIO ADS	644.00
L.G. EVERIST	CRUSHED ROCK	674.29
LETH, TWILA	SLOW PITCH SOFTBALL 1ST PLACE	500.00
MADISON CO COURT	BOND	150.00
MAIN STREET AUTO CARE	TOWING/TIRE REPAIR	121.40

Vendor	Payable Description	Payment Total
MARCO INC	COPIER LEASE	126.36
MATHESON-LINWELD	OXYGEN	19.50
NE POWER REVIEW BOARD	POWER ASSESSMENT	870.55
NEBRASKA COMMUNITY FOUNDATION	MAY-JUNE 17 FEES	100.00
NORTHEAST POWER	RATE DISPUTE	1,736.15
OCC BUILDERS LLC	TREE INCENTIVE	34.39
OMAHA TRUCK CENTER	NATURAL GAS SLOW FILL REPAIR	869.06
ONE CALL CONCEPTS, INC	DIGGERS HOTLINE	149.64
OVERHEAD DOOR	PHOTO CELLS	120.75
PENGUIN RANDOM HOUSE LLC	AUDIO BOOKS	153.75
PITNEY BOWES INC	POSTAGE METER LEASE	253.85
PLUNKETT'S PEST CONTROL	PEST CONTROL	182.18
POLLARD PUMPING	CHICKEN SHOW/BOY SCOUT PARK PORT A POTTIES	1,080.00
QUALITY 1 GRAPHIC	NO PARKING SIGNS	450.00
SHOPKO	SD CARDS/THERMOMETER/SPONGES	42.99
SOOLAND BOBCAT	HARNESS	195.04
SPARKLING KLEAN	JANITORIAL SERVICE/SUPPLIES	2,755.15
SPIEKER, DWAIN	ENERGY INCENTIVE	500.00
STADIUM SPORTING GOODS	BASEBALL SHIRTS	763.00
STAPLES ADVANTAGE	OFFICE SUPPLIES	116.64
STATE NEBRASKA BANK	PETTY CASH-SLOW PITCH SOFTBALL	200.00
SUBSURFACE SOLUTIONS	RADIO DETECTION RECEIVER	7,806.31
TAYLOR, KYLE	SLOW PITCH SOFTBALL 2ND PLACE	300.00
TYLER TECHNOLOGIES	INSITE TRANSACTION FEES-UTILITY BILLING	1,032.50
US FOODSERVICE, INC.	SENIOR CENTER COOKED IN HOUSE MEALS	513.42
VIAERO WIRELESS	POLICE CELL PHONES	133.07
WAYNE COUNTY CLERK	FILING FEES	200.00
WAYNE COUNTY COURT	BOND	542.50
WAYNE HERALD	CAC ADS	458.00
WAYNE VETERINARY CLINIC	DOG/CAT IMPOUND	392.00
WESCO DISTRIBUTION INC	PARKING STAND ARRESTER	3,312.42
WISNER WEST	FIRE DEPARTMENT GASOLINE	56.30
ZACH HEATING & COOLING	AC REPAIRS-STREET DEPT	220.50
	<b>Grand Total:</b>	<b>64,454.73</b>

**6-Month Report to the Wayne City Council**  
**LB 840 Funds Committed (as of 06/30/17)**

<u>Applicant</u>	<u>Amount</u>	<u>Type of funding</u>	<u>Purpose</u>	<u>Committee review</u>
Digital Blue	\$ 30,600.00	performance based loan	relocation/expansion	05/27/2009
Louis and Jevonah Benscoter	\$ 36,000.00	performance based loan	land development	08/13/2009
Interactive Impact	\$ 30,000.00	performance based loan	intellectual property development	08/13/2009
Jim Milliken (Godfathers)	a \$ 2,500.00	grant	parking lot (rain garden)	10/08/2009
Wayne Area Economic Development	\$ 10,000.00	grant	marketing (general)	11/12/2009
Wayne Area Economic Development (Project Majestic)	\$ 200,000.00	grant	theater renovation/remodel	11/12/2009
Wayne Veterans Memorial Project	b \$ 72,686.00	grant	memorial completion	02/11/2010
Farmers Market and Community Garden	c \$ 2,750.00	grant	marketing	04/15/2010
Wayne Hospitality Group LLC	d \$ 250,000.00	grant	hotel project	10/19/2010
Wayne Area Economic Development	\$ 10,000.00	grant	marketing (general)	12/21/2010
City of Wayne	j \$ 13,285.00	grant	water/sewer for Western Ridge III	08/01/2011
Windom Ridge	\$ 5,000.00	grant	housing study targeting 55+	08/11/2011
Miss Mollys Coffee Company	\$ 30,000.00	performance based loan	purchase building/new coffee shop	10/13/2011
Wayne Area Economic Development on behalf of WCNGC	i \$ 250,000.00 [info only]	loan guarantee	compressed natural gas car	10/13/2011; 07/12/12
Wayne Area Economic Development	\$ 5,000.00	grant	marketing (general)	11/07/2011
Wayne Community Theater	g \$ 5,000.00	grant	overhead doors replaced	12/08/2011
Wayne Area Economic Development (Chicken Show)	\$ 12,050.00	grant	marketing for Wayne Chicken Show	03/08/2012
Rainbow World Child Care Center	\$ 25,000.00	grant	facility addition	10/11/2012
Wayne Area Economic Development	\$ 5,000.00	grant	marketing (general)	11/08/2012
City of Wayne	\$ 17,500.00	grant	water/sewer for Western Ridge III	01/10/2013
Wreidt Properties	q \$ 33,000.00 [info only]	grant	trailer relocation	02/14/2013
Angel Village	q \$ 240,000.00 [info only]	performance based loan	senior village, common space	02/14/2013
City of Wayne	m \$ 30,000.00	grant	Welcome to Wayne signs (4)	11/14/2013
Wayne Area Economic Development	\$ 5,000.00	grant	general administration	12/12/2013
Darrin Barner (WSC Rugby)	n \$ 1,600.00 [info only]	grant	to replace goal post pads	01/09/2014
Ken Jorgensen / 4th Jug Bar and Grill	\$ 125,000.00	performance based loan	build a bar and grill/package liquor	04/10/2014
Jen and Chad Claussen	\$ 23,765.00	performance based loan	purchase Swans and building	11/13/2014
Wayne Area Economic Development	\$ 5,000.00	grant	admin/marketing	11/13/2014
Rezurrected Rod and Kustom	\$ 25,000.00	performance based loan	building addition and fiber glass car manu	08/04/2015
Wayne Area Economic Development	\$ 5,000.00	grant	admin/marketing	11/03/2015
City of Wayne	p \$ 240,000.00 [info only]	performance based loan	housing cost buy down	03/10/2016
<b>Subtotal of "grant"</b>	<b>\$ 981,136.00</b>	<b>30.66%</b>		
City of Wayne	f \$ 7,132.00	zero percent loan	housing downpayment match	10/08/2009
Jim Milliken (Godfathers)	a \$ 35,500.00	zero percent loan	parking lot	10/08/2009
Inet Library	e \$ 86,038.00	3 percent interest loan	expansion/start up expenses	02/10/2011
RBDK LLC	\$ 70,000.00	3 percent interest loan	new dental clinic at 7th & Pearl	08/11/2011
City of Wayne	h \$ 160,000.00 [info only]	zero percent loan	housing incentives (0% loans)	04/12/2012
Rainbow World Child Care Center	k \$ 75,000.00	zero percent loan	facility addition	10/11/2012
Mandy Benscoter and Louis Benscoter	\$ 50,000.00	zero percent loan	commercial bldgs on Jaxon St	01/10/2013
John and Molly Temme	\$ 65,000.00	3 percent interest loan	commercial property at 7&Dear	06/27/2013
Geno's Steakhouse	\$ 37,000.00	3 percent interest loan	renovation/windows/etc	07/28/2013
Paulson Construction	\$ 39,750.00	3 percent interest loan	purchase building/move bus. to city	07/28/2013
City of Wayne - SCPB, OCC Bldrs, IPI	i \$ 240,900.00	zero percent loan	disaster recovery loans (15 yrs, % payroll)	10/10/2013
Brent L. Pick	\$ 50,000.00	zero percent loan	15 yrs - buy&rebuild Estes/DB/NAPA	11/14/2013
Lutt Oil and Service (Rod L. and Christin E. Cook-Lutt)	\$ 50,000.00	3 percent interest loan	Buy and update Zach's/expand services	12/12/2013
NAPA - Wayne	\$ 50,000.00	zero percent loan	15 yrs - rebuild NAPA	01/09/2014
NAPA - Wayne	o \$ 25,000.00	zero percent loan	to rebuild; require annexation	01/09/2014
Leseberg Masonry and Construction	\$ 75,000.00	0% loan; 3% loan	rebuild \$40k at 0%, build \$35k at 3%	01/09/2014
Pat Garvin / Innovative Protectives	\$ 40,000.00	0% loan for 15 yrs	rebuild buildings lost to tornado	02/13/2014
Ken Jorgensen / 4th Jug Bar and Grill	\$ 125,000.00	3% loan for 15 yrs	build a bar and grill/package liquor	2/13/2014; 4/10/14
Dollar Plus	\$ 125,000.00	0% loan for 5 yrs	open Dollar Plus in Downtown Wayne	04/10/2014
Heft Trucking	\$ 50,000.00	0% loan for 15 yrs	rebuild building lost to tornado	06/12/2014
Tim Fertig	\$ 50,000.00	3% loan for 15 yrs(10yr bin)	buy 2nd&Main prop and open fitness	07/28/2014
Jen and Chad Claussen	\$ 23,765.00	3% loan for 15 yrs	purchase Swans and building	11/13/2014
Rezurrected Rod and Kustom	\$ 25,000.00	3% loan for 10 yrs	building addition and fiber glass car manu	08/04/2015
Beck Ag Inc	\$ 50,000.00	3% loan for 3 yrs	build out and business growth	12/10/15; 1/14/16
Adam Manoucheri/Crossroads-Atoll Productions LLC	\$ 40,000.00	3% loan for 15 yrs	purchase and remodel 200&202 Main St	01/14/2016
Josh Hopkins - Hopkins Eyecare	\$ 35,000.00	0% loan for 2 yrs	purchase property for new eye clinic	06/09/2016
Lukas Rix - Rustic Treasures	\$ 55,000.00	0% loan for 5 yrs	purchase and rehab 1912 City Hall	07/14/2016
Wayne Country Club	r \$ 150,000.00	0% loan for 15 yrs	addition/remodel club house	10/13/2016
Wayne Area Event Center	s \$ 350,000.00	3% loan for 10 yrs	new event center construction	10/13/2016
<b>Subtotal of revolving</b>	<b>\$ 2,075,085.00</b>	<b>64.85%</b>		
<b>TOTAL FUNDS COMMITTED (as of June 30, 2017)</b>	<b>* \$ 3,056,221.00</b>	<b>95.51%</b>		
<b>TOTAL AVAILABLE FOR 15 YEARS (to collect)</b>	<b>\$ 3,200,000.00</b>			

\* Interest accrued/paid on the Fund's borrowed money is NOT included in this total  
a Committee recommended \$38,000 zero percent interest loan; Council granted \$2500 of this after the City requested a rain garden in the parking lot.  
b Committee recommended \$75,000; only \$72,686 was spent.  
c Committee recommended \$1,250; Council approved \$2,750.  
d Legally, this is a grant (not required to be paid back); however, the Wayne Hospitality Group LLC plans to honor their previous request's terms of 15 years at 0% interest.  
e Committee recommended only an interest bearing loan for \$43,019; Council approved \$43,019 for an interest bearing loan and \$43,019 for a performance based loan. (all is now a loan)  
f Committee recommended and Council approved \$64,200; only \$7,132 was used after the program closed.  
g Committee recommended a 5 yr loan; Council approved the grant request.  
h Initial housing request from the City was approved, further action by Council allocated housing funds from a different source  
i Revision of previous approval (10/2011) - increased loan guarantee from \$150,000 to \$250,000 (07/2012); allocation became void after 12/31/12 if no company was in Wayne  
j Committee/Council approved \$26,000 for wastewater improvements - only \$13,285 was used  
k Committee recommended \$75,000 loan with interest half of its conventional rate. Council changed the loan to 0% interest  
l \$500,000 was set aside for tornado relief (up to 10% of payroll); only \$241k was used  
m Committee recommended a set number of \$28,000; the Council allowed the request of "up to" \$30,000 for signage  
n Committee recommended approval but believed other sources of funds might be available; Council took no action on this recommendation.  
o Originally a performance based loan; FTE requirement not met so is now a loan  
p Committee recommended approval; City Council did not approve  
q Committee and Council approved; projects were never completed  
r Committee recommended \$100,000 loan for 5 yrs at 3%  
s Committee recommended \$250,000 loan for 10 yrs at 3%

**CITY OF WAYNE  
INTEROFFICE MEMORANDUM**

**DATE:** July 11, 2017  
**TO:** Mayor Chamberlain  
Wayne City Council  
**FROM:** Wayne Planning Commission  
Joel Hansen, Staff Liaison



At their meeting held on July 10, 2017 the Wayne Planning Commission made a recommendation on the following public hearings and discussion items; the result of those recommendations are as following:

**Public Hearing: Final Plat Southview II Addition to the City of Wayne; Applicant – Brent Pick and Kelby Herman**

The Planning Commission took evidence and testimony from the public and thereafter reviewed the information and evidence presented. After deliberation and discussion, motion was made by Commissioner Carstens and seconded by Commissioner Sandoz to approve and forward a recommendation of approval to the City Council for the final plat for the Southview II Addition to the City of Wayne, with the findings of fact being consistency with the Comprehensive Plan, the current and future land use maps and staff's recommendation. Chair Melena stated the motion and second. All were in favor, with Commissioner Giese abstaining, motion carried.

**Public Hearing: Request for Amending Zoning Text, Specifically Section 152.083 (C) Permitted Accessory Uses and Structures (1)(6) and Section 152.132 (E) Unattached Accessory Uses; Applicant: Vakoc Construction Co and Wayne Properties ALP**

The Planning Commission took evidence and testimony from the public and thereafter reviewed the information and evidence presented. After deliberation and discussion, motion was made by Commissioner Carstens and seconded by Commissioner Meisenbach to approve and forward a recommendation of approval to the City Council for the request to amend the zoning text specifically Section 152.083 (C) Permitted Accessory Uses and Structures (1)(6) and Section 152.132 (E) Unattached Accessory Uses in the R-3 Residential Zoning District, with the findings of fact being staff's recommendation. Chair Melena stated the motion and second. All were in favor, motion carried to approve.

Memo to Mayor and City Council  
July 11, 2017  
Page Two

**Discussion and Recommendation: Grainland Estates LLC Redevelopment Plan**

The Planning Commission took evidence and testimony from the public and thereafter reviewed the information and evidence presented. After deliberation and discussion, motion was made by Commissioner Carstens and seconded by Commissioner Meisenbach to approve and forward a recommendation of approval to the City Council for the Redevelopment Plan for the area referenced to as Grainland Estates LLC Redevelopment Plan, with the findings of fact being as stated in Resolution No. 2017-04. Chair Melena stated the motion and second. All were in favor, with the exception of Commissioner Giese who abstained, motion carried to approve.

JJH:cb

## WAYNE PLANNING AND ZONING COMMISSION

### RESOLUTION NO. 2017-04

A RESOLUTION OF THE WAYNE PLANNING AND ZONING COMMISSION, MAKING RECOMMENDATIONS WITH RESPECT TO A REDEVELOPMENT PLAN FOR AN AREA IN THE CITY OF WAYNE PURSUANT TO THE NEBRASKA COMMUNITY DEVELOPMENT ACT.

WHEREAS, the Mayor and City Council of the City of Wayne, Nebraska, (the "City") by its Ordinance, created the Community Development Agency (CDA) of the City of Wayne, Nebraska (the "Agency") pursuant to Sections 18-2101 through 18-2153, Reissue Revised Statutes of Nebraska, as amended (the "Act");

WHEREAS, the City has adopted and has in place a Comprehensive Plan, which includes a general plan for development of the City, within the meaning of Section 18-2110 of the Act;

WHEREAS, the CDA, submitted a proposed Redevelopment Plan (attached hereto as Exhibit A) to this Planning Commission of the City of Wayne for recommendations with respect to the proposed Redevelopment Plan;

NOW, THEREFORE, BE IT RESOLVED BY THE WAYNE PLANNING AND ZONING COMMISSION, AS FOLLOWS:

RESOLVED, that the Planning Commission hereby makes the following findings with respect to the Redevelopment Plan:

1. The Planning Commission has reviewed the Redevelopment Plan as to its conformity with the general plan for the development of the City as a whole; and
2. The Planning Commission confirms that the area described in the Redevelopment Plan and the Redevelopment Contract is blighted and substandard as defined in the Nebraska Community Development Law.
3. The Planning Commission finds that the Redevelopment Plan, if implemented will help eliminate blight and substandard conditions in the area affected by the Plan.
4. The Planning Commission recommends the adoption and approval of the Redevelopment Plan, attached hereto as Exhibit A, with such amendments, additions and deletions as are deemed necessary by the Agency.

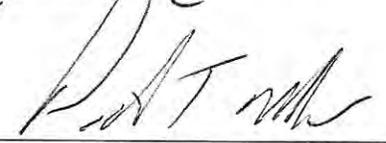
PASSED AND APPROVED by the Wayne Planning and Zoning Commission this 10<sup>th</sup> day of July, 2017.

WAYNE PLANNING AND ZONING COMMISSION

  
Commission Member

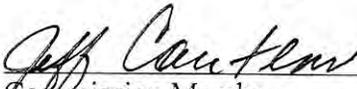
  
Commission Member

  
Commission Member

  
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RESOLUTION NO. 2017-64

**A RESOLUTION OF THE MAYOR AND COUNCIL OF THE CITY OF WAYNE, NEBRASKA, APPROVING A REDEVELOPMENT PLAN; AND RELATED MATTERS**

**WHEREAS**, the City of Wayne, Nebraska, a municipal corporation and city of the first class (the “City”), has determined it to be desirable to undertake and carry out urban redevelopment projects in certain areas of the City that are determined to be blighted and substandard and in need of redevelopment; and

**WHEREAS**, the Community Development Law, Chapter 18, Article 21, Reissue Revised Statutes of Nebraska, as amended (the “Act”), prescribes the requirements and procedures for the planning and implementation of redevelopment projects; and

**WHEREAS**, the City has previously declared the area legally described in **Exhibit A** attached hereto (the “Redevelopment Area”) to be blighted and substandard and in need of redevelopment pursuant to the Act; and

**WHEREAS**, the Community Redevelopment Authority of the City of Wayne, Nebraska (the “Authority”) has received a Redevelopment Plan (the “Redevelopment Plan”) prepared by the Authority, in the form attached hereto as **Exhibit B**, for the redevelopment of the Redevelopment Area; and

**WHEREAS**, the Authority and the Planning Commission of the City (the “Planning Commission”) have both reviewed the Redevelopment Plan and recommended its approval by the Mayor and Council of the City; and

**WHEREAS**, the City published and mailed notices of a public hearing regarding the consideration of the approval of the Redevelopment Plan pursuant to Section 18-2115 of the Act, and has on the date of this Resolution held a public hearing on the proposal to approve the Redevelopment Plan; and

**WHEREAS**, the City has reviewed the Redevelopment Plan and determined that the proposed land uses and building requirements described therein are designed with the general purpose of accomplishing a coordinated, adjusted, and harmonious development of the City and its environs which will, in accordance with present and future needs, promote health, safety, morals, order, convenience, prosperity and the general welfare, as well as efficiency in economy in the process of development; including, among other things, adequate provision for traffic, vehicular parking, the promotion of safety from fire, panic, and other dangers, adequate provisions for light and air, the promotion of the healthful and convenient distribution of population, the provision of adequate transportation, water, sewerage, and other public utilities, schools, parks, recreational and community facilities, and other public requirements,

the promotion of sound design and arrangement, the wise and efficient expenditure of public funds, and the prevention of the recurrence of unsanitary or unsafe dwelling accommodations, or conditions of blight.

**NOW THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF WAYNE, NEBRASKA:**

**Section 1.** The Redevelopment Plan is hereby determined to be feasible and in conformity with the general plan for the development of the City as a whole, and the Redevelopment Plan is in conformity with the legislative declarations and determinations set forth in the Act; and it is hereby found and determined, based on the analysis conducted by the Authority, that (a) the redevelopment project described in the Redevelopment Plan would not be economically feasible and would not occur within the Project Area without the use of tax-increment financing, and (b) the costs and benefits of the redevelopment project, including costs and benefits to other affected political subdivisions, the economy of the City, and the demand for public and private services have been analyzed by the City and have been found to be in the long-term best interest of the community impacted by the redevelopment project. The City acknowledges receipt of the recommendations of the Authority and the Planning Commission with respect to the Redevelopment Plan.

**Section 2.** The Redevelopment Plan is hereby approved in substantially the form attached hereto.

**Section 3.** In accordance with Section 18-2147 of the Act, the City hereby provides that any ad valorem tax on the real estate described in the Redevelopment Plan for the benefit of any public body be divided for a period of 15 years after the effective date as provided in Section 18-2147 of the Act, which effective date shall be determined in a Redevelopment Contract and amendments entered into between the Redeveloper and the Authority. Said tax shall be divided as follows:

(a) That proportion of the ad valorem tax which is produced by levy at the rate fixed each year by or for each public body upon the Redevelopment Project Valuation (as defined in the Act) shall be paid into the funds of each such public body in the same proportion as all other taxes collected by or for the bodies; and

(b) That proportion of the ad valorem tax on real property in the Project Area in excess of such amount (the Redevelopment Project Valuation), if any, shall be allocated to, is pledged to, and, when collected, paid into a special fund of the Authority to pay the principal of, the interest on, and any premiums due in connection with the bonds, loans, notes or advances of money to, or indebtedness incurred by, whether funded, refunded, assumed, or otherwise, such Authority for financing or refinancing, in whole or in part, the Project. When such bonds, loans, notes, advances of money, or indebtedness, including interest and premium due have been paid, the Authority shall so notify the County Assessor and County Treasurer and all ad valorem taxes upon real property in the Project Area shall be paid into the funds of the respective public bodies.

**Section 4.** The Mayor and Clerk are hereby authorized and directed to execute such documents and take such further actions as are necessary to carry out the purposes and intent of this Resolution and the Redevelopment Plan.

PASSED AND APPROVED this 18<sup>th</sup> day of July, 2017.

THE CITY OF WAYNE, NEBRASKA

By \_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

**EXHIBIT A**

**LEGAL DESCRIPTION OF REDEVELOPMENT PROJECT AREA**

**EXHIBIT B**

**FORM OF REDEVELOPMENT PLAN**

**Redevelopment Plan  
Grainland Estates Project  
2017**

Grainland Estates, LLC, (the “Redeveloper”) intends to redevelop and improve the area, described in this Plan, pursuant to the Nebraska Community Development Law (Sections 18-2101 to 18-2144 and 18-2147 to 18-2153, R.S.S. Neb. 2012, as amended, the “Act”) by the development of a residential subdivision. This Plan amends previous plans for the Project Area, if any.

**A. General Project Description:**

THE DEMOLITION AND REDEVELOPMENT OF AN AREA FOR A RESIDENTIAL DEVELOPMENT.

THE PROJECT WILL CONSIST OF SITE ACQUISITION, DEMOLITION, AND INFRASTRUCTURE INSTALLATION FOR A RESIDENTIAL DEVELOPMENT. TEN LOW INCOME DUPLEX RENTALS (20 RESIDENTIAL UNITS) TOGETHER WITH FOUR MARKET RATE DUPLEXES (8 RESIDENTIAL UNITS) WILL BE CONSTRUCTED.

Exhibit “1” attached to this Plan shows the property to be redeveloped. Exhibit “2” is the proposed subdivision after redevelopment (the “Project Area”).

The redevelopment of the Project Area is not economically feasible to implement without assistance from tax increment financing because of high demolition and infrastructure costs. This project is intended to provide high quality, low cost duplex rentals for low income families together with a market rate single family component. The Redeveloper believes that the redevelopment of the Project Area will provide the City and its surrounding area with significant new housing.

**B. Boundaries of Project Area and Existing Conditions and Uses**

As indicated above, Exhibit “1” shows the outer boundaries of the Project Area. Exhibit “3” shows condition and existing use of the property within the Project Area.

The Project Area will require installation of paving on the extension of South Sherman Street.

**C. Land Use Plan Showing Proposed Uses**

Exhibit “2” shows the ultimate use for the Project Area as well as the proposed configuration for the development of the lots.

**D. Information Concerning Population Densities, Land Coverage and Building Intensities**

The Project Area currently has no residents. Under this Plan, all of the Project Area is intended at full development to provide 20 low income rental homes and 8 market rate residences, all in duplex configuration. Building densities will not exceed such densities as are permitted under Wayne zoning and subdivision regulations. Exhibit "4" shows the location and density of the rental units. The market rate duplex units will contain a 1390 square foot homes. Exhibit "5" (consisting of 3 pages) shows the elevations and anticipated layout of the market rate homes.

**E. Statement as to Proposed Changes in Zoning, Street Layout, Street Levels or Grades**

The Project Area will require rezoning to R-2 to support this redevelopment. All construction will be subject to applicable building codes and ordinances. The street layout and street levels will depend upon the finalized construction development plans. South Sherman Street will be paved by the Redeveloper subject to City design and construction standards.

**F. Site Plan for the Project Area**

Exhibit "2" shows the proposed site plan for the area. This site plan is subject to final revision as set forth on the approved final plat.

**G. Statement as to Kind and Number of Additional Public Facilities**

Paving, sewer and water and electrical line extensions throughout the Project Area will be provided by the Redeveloper in accordance with specifications and requirements of the City.

**Implementation of Plan**

The Redeveloper will acquire the real estate described on Exhibit "1", subdivide the property as shown on Exhibit "2" and build 14 duplex buildings resulting in 28 residences. The rental units will be conveyed to and owned by South View Estates, LLC who will provide the 20 rental units to income limited individuals and families pursuant to the terms of the housing tax credit program under §42 of the Internal Revenue Code of the United States.

The market rate residences will be available for purchase. The Redeveloper install the curb, gutter and paving for streets in the area and extend sewer and water mains. In order to make the Project financially feasible, the Redevelopment Authority will be required to issue one tax increment development revenue bond (the "Bond") to be repaid from the excess ad valorem taxes on those residences. The Wayne Community Redevelopment Authority (the "Authority") will pledge the maximum amount of annual increment of ad valorem taxes for the years 2018 and 2019 and continuing for each such year for 15 years first to the payment of interest and principal on the Bond. The Bond will be granted to the Redeveloper to pay the following costs:

Street paving.	\$90,000
Water mains.	\$45,000
Sewer mains.	\$45,000
Street lights.	\$ 3,000
Site purchase.	\$80,000
Demolition.	\$52,000
Site preparation.	\$50,000
Legal.	\$10,000
	<u>\$375,000</u>

**Plan of Finance**

The Authority will issue its Tax Increment Revenue Bond in the aggregate total amount of \$375,000.00 in order to assist in the finance Redevelopment Project Costs shown above. The Redeveloper will agree to build the residential units, described herein, pursuant to a redevelopment contract in order to induce the Authority provide a grant in the amount of \$375,000.

**Description of Project Area**

The Project Area is described on attached Exhibit "1".

The property will be subdivided into separate lots, and development will occur in phases over a two year period. The incremental tax revenues will be dedicated to payment of the Tax Increment Revenue Bond. The tax increment revenues are to be allocated under the terms of Section 18-2147(1)(b) of the Act for those tax years for which the payments become delinquent within fifteen (15) years from the effective date as set forth in the redevelopment contract and annual amendments thereto. The effective date shall be, as to each phase the January 1, of the year following the issuance of a building permit as to an individual lot and, if taxes are received by the Wayne County Treasurer on or before December 31, of the 14<sup>th</sup> year after such effective date those such taxes as falling due on said December 31, shall also be allocated to the Authority and applied to payment of principal and interest on the Tax Increment Revenue Bonds. The effective date for such allocations for each phase shall be set forth in or determined pursuant to the project redevelopment contract and annual amendments thereto and/or the bond resolution authorizing the issuance of the Tax Increment Revenue Bond and noticed to the County Assessor of Wayne County in accordance with the terms of Section 18-2147 of the Act as amended

The real property ad valorem taxes on the current taxable valuation of the lot or lots associated with each phase of the Project for the year prior to redevelopment of such phase in accordance with this Plan and the Act will continue to be paid to the applicable taxing bodies in accordance with the terms of Section 18-2147 of the Act.

### **Statutory Pledge of Taxes.**

Pursuant to Section 18-2147 of the Act, any ad valorem tax levied upon real property in the lots within the Project Area for each phase shall be divided, for the period not to exceed 15 years after the effective date of the provision for each such phase as determined pursuant to the redevelopment contract. *Such effective date may be confirmed and restated in the resolution authorizing the Tax Increment Revenue Bond and/or in the project redevelopment contract amendment to be entered into between the Authority and the Redeveloper.*

Pursuant to Section 18-2150 of the Act, the ad valorem tax so divided is to be pledged to the repayment of loans or advances of money, or the incurring of any indebtedness, whether funded, refunded, assumed or otherwise, by the Authority to finance or refinance, in whole or in part, the redevelopment project, including the payment of the principal of, premium, if any, and interest on such bonds, loans, notes, advances or indebtedness.

**The Tax Increment Revenue Bond shall be payable solely from the tax increment revenues available under Section 18-2147 and shall not otherwise constitute indebtedness of the Authority or the City.**

### **Redevelopment Plan Complies with the Act:**

The Community Development Law requires that a redevelopment plan and project consider and comply with a number of requirements. This Plan meets the statutory qualifications as set forth below.

#### **1. The project must be in an area declared blighted and substandard. [Section 18-2109]**

The Project Area has been declared blighted and substandard by action of the Mayor and Council of the City prior to the adoption and approval of this Plan. Such declaration was made after a public hearing with full compliance with the public notice requirements of Section 18-2115 of the Act.

#### **2. Conformance to the general plan for the municipality as a whole. [Section 18-2103(13)(a) and Section 18-2110]**

The City of Wayne has adopted a Comprehensive Plan, (the "Comprehensive Plan"). This Plan and the project are consistent with the Comprehensive Plan, in that no changes in the Comprehensive Plan elements are intended or required.

**3. The Redevelopment Plan must be sufficiently complete to address the following items: [Section 18-2103(13)(b) and Section 18-2111]**

**a. Land Acquisition:** The Project Area will be acquired by the Redeveloper.

**b. Demolition and Removal of Structures:** The project to be implemented under this Plan requires removal of a substantial number of existing structures. Elevations and street, water main and sewer plans will be provided to the City Planning Department for approval prior to commencement of construction.

**c. Future Land Use Plan:** See attached Exhibit "2" for the proposed development land use. [Section 18-2103(b) and Section 18-2111 of the Act] The attached Exhibit "2" also shows an accurate site plan of the area after redevelopment, showing the proposed uses projected for the Redevelopment Project. [Section 18-2111(3) and (5) of the Act].

**d. Changes to zoning, street layouts and grades or building codes or ordinances or other Planning changes.** A zoning change will be required for the Project. The entire Redevelopment Project Area will require rezoning to R-2. The proposed street layouts are shown on Exhibits "2" and "3". Streets within the project boundaries will be dedicated to the City. No changes are anticipated in building codes or ordinances. Re-platting is contemplated. [Section 18-2103(b) and Section 18-2111 of the Act].

**e. Site Coverage and Intensity of Use.** The project as fully developed will provide a 28 residences in 14 duplex structures. [Section 18-2103(b) and §18-2111 of the Act].

**f. Additional Public Facilities or Utilities.** Water, storm and sanitary sewer connections to the city mains will be required in addition to the paving noted above [Section 18-2103(b) and Section 18-2111 of the Act].

**4. The Act requires that a Redevelopment Plan provide for relocation of individuals and families displaced as a result of plan implementation.** There are no residents or operating businesses currently located in the Project Area and no relocation requirements apply or are contemplated. [Section 18-2103.02 of the Act].

**5. Conflicts of interest by an Authority member must be disclosed.** No member of the governing body of the Authority nor any employee of the City or the Authority holds any interest in any property located in the Project Area. [Section 18-2106 of the Act].

**6. The Act requires that the Authority consider:**

**a. Method and cost of acquisition and preparation for redevelopment and estimated proceeds from disposal to redevelopers.** The Authority will enter into a project redevelopment contract with the Redeveloper having such undertakings as the Authority determines appropriate [Section 18-2119(2) of the Act]. Because all of the real property within the Project Area will be privately owned the requirements of Section 18-2118 of the Act relating to transfers of property by the Authority do not apply. The Redeveloper intends, to redevelop the Project Area with an investment of up to \$2,200,000 of funds from private and other public resources including bank or other financing.

**b. Statement of proposed method of financing the redevelopment project.**

This plan contemplates that the Authority may issue its Tax Increment Revenue Bonds in an amount not to exceed \$375,000 to provide a grant from the Authority to the Redeveloper to bear interest at a rate to be determined by the Authority. The Tax Increment Revenue Bond shall be privately placed with the Redeveloper or its assignee, to obtain the proceeds needed to make the grant. Application of the proceeds of the Tax Increment Revenue Bond will be supervised by or on behalf of the Authority. The Tax Increment Revenue Bond shall be repaid from the tax increment revenues generated from the Project Area from and after January 1, 2018 through that December 31 which represents the day immediately preceding the fifteenth anniversary of the effective date as to each phase of development as set forth in the project redevelopment contract and amendments thereto.

**c. Statement of feasible method of relocating displaced families.**

No families will be displaced as a result of this plan [Section 18-2114 of the Act].

**7. Statutory considerations prior to recommending a redevelopment plan.** Section 18-2113 of the Act requires that the governing body of an Authority observe certain considerations prior to recommending a Plan: In connection with the adoption of this Plan and prior to recommending it to the Mayor and City Council, the governing body of the Authority shall consider whether the proposed land uses and building requirements in the redevelopment project area (as to this Plan, the Project Area) are designed with the general purpose of accomplishing, in conformance with the general plan (the City's Comprehensive Plan), a coordinated, adjusted, and harmonious development of the City and its environs which will, in accordance with present and future needs, promote health, safety, morals, order, convenience, prosperity, and the general welfare, as well as efficiency and economy in the process of development, including, among other things, adequate provision for traffic, vehicular parking, the promotion of safety from fire, panic, and other dangers, adequate provision for light and air, the promotion of the healthful and convenient distribution of population, the provision of adequate transportation, water, sewerage,

and other public utilities, schools, parks, recreational and community facilities, and other public requirements, the promotion of sound design and arrangement, the wise and efficient expenditure of public funds, and the prevention of the recurrence of insanitary or unsafe dwelling accommodations or conditions of blight. The Authority shall undertake to make such considerations and findings prior to its recommending of this Plan by a resolution separate from this Plan.

**8. Cost Benefit Analysis.** This Plan when presented for recommendation and approval shall be accompanied by a cost benefit analysis. Such analysis is as follows:

**a. Tax shifts resulting from the approval of the use of funds pursuant to section 18-2147:**

Possible increase student load for the school system could result from the project development. However, any increase in student load will be spread over the entire class range provided by the Wayne School District. The School District has been consulted and has not provided any objections to the project.

**b. Public infrastructure and public service needs:**

The plan requires the redeveloper to pay for all required infrastructure related to the project.

**c. Impacts on employers and employees within the project area:**

None exist. Therefor no impact is expected.

**d. Impacts on employers and employees in the city, but not in the project area:**

The construction of the houses will increase temporarily employment through the construction process. The additional housing resulting from the project may have the effect of providing an additional employee pool for employers.

**e. Other impacts:**

No significant negative additional impacts are anticipated. However the project will invite population growth with its attendant spending and investment in the community.

[Section 18-2113 (2) of the Act].

**9. Time Frame for Development.** Development of the Project Area is anticipated begin during the summer of 2017 with initial occupancy of the earliest properties developed in the first quarter of 2018. The base tax year for Phase one is expected to be calculated on the value of the property as of January 1, 2017.

Exhibit "1"

[Plat map of Giese Addition]



Exhibit "2"

[Southview II Subdivision Plat]



Exhibit "3"

[Google Map showing lot lines]

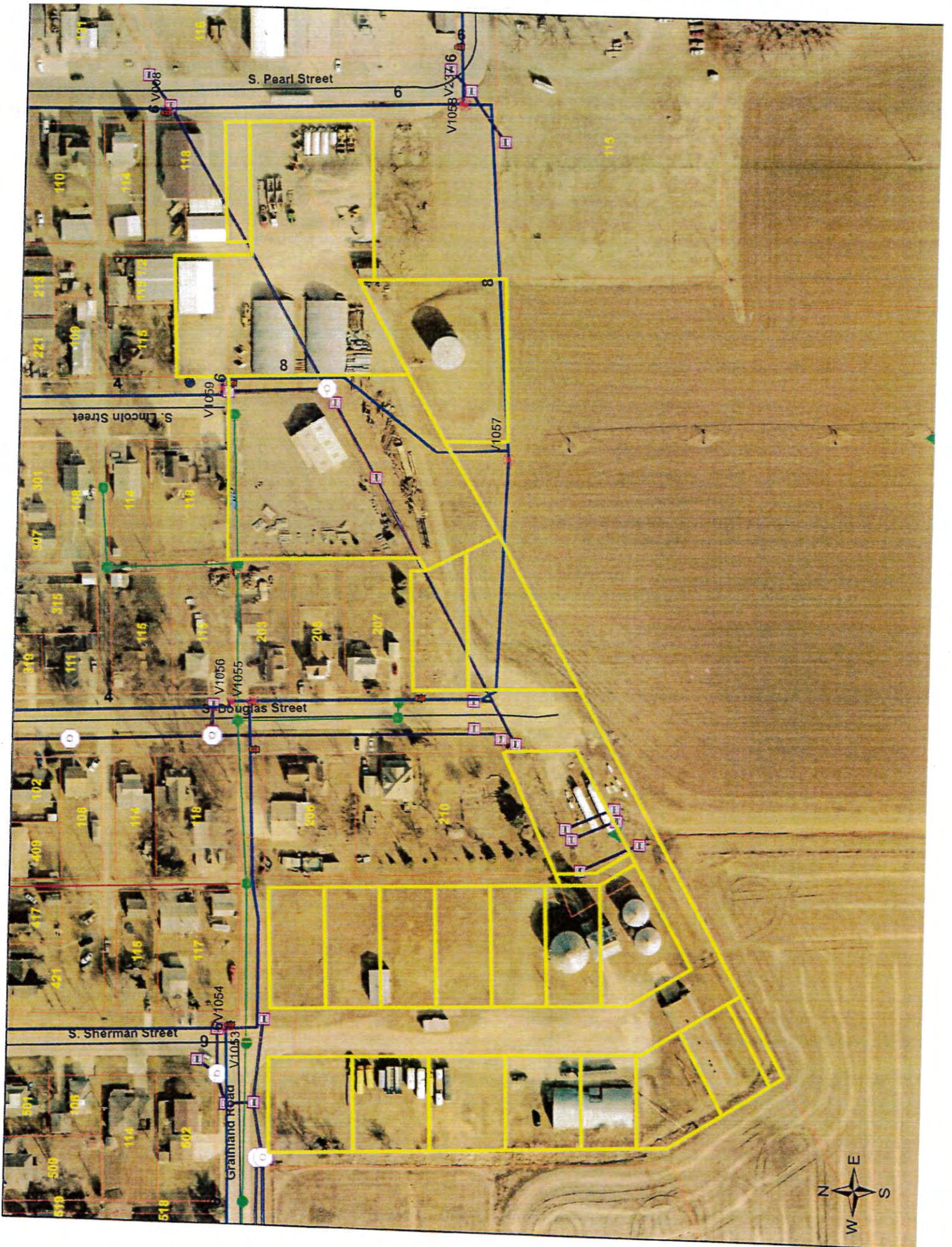
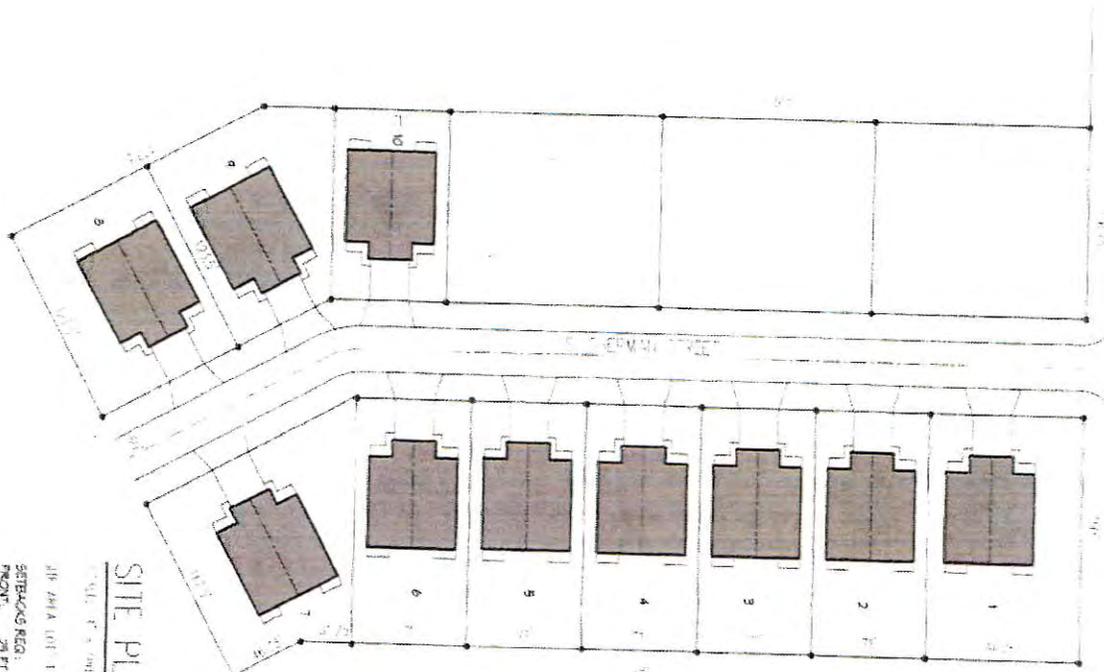


Exhibit "4"

[Plat showing low income duplexes]



**SITE PLAN**

SETBACKS REQ:  
 FRONT: 25 FT  
 REAR: 20 FT  
 SIDE: 5 FT  
 CORNER: 25 FT  
 LOT SF. PER UNIT: 2000 SF

**Southview Estates - 20 2-BR Units**  
 WAYNE, NEBRASKA  
 MESNER DEVELOPMENT CO.  
 2604 26TH AVENUE, CENTRAL CITY, NE 68825

WAYNE  
 NEBRASKA

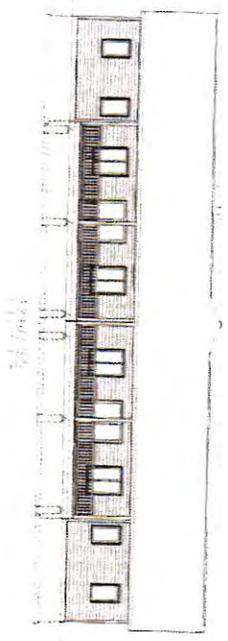
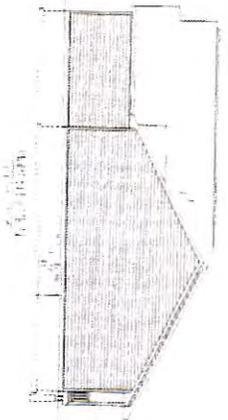
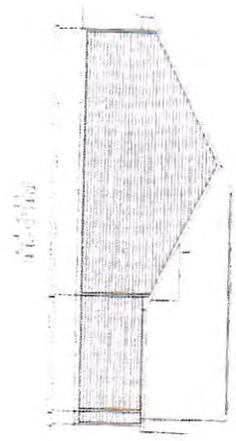
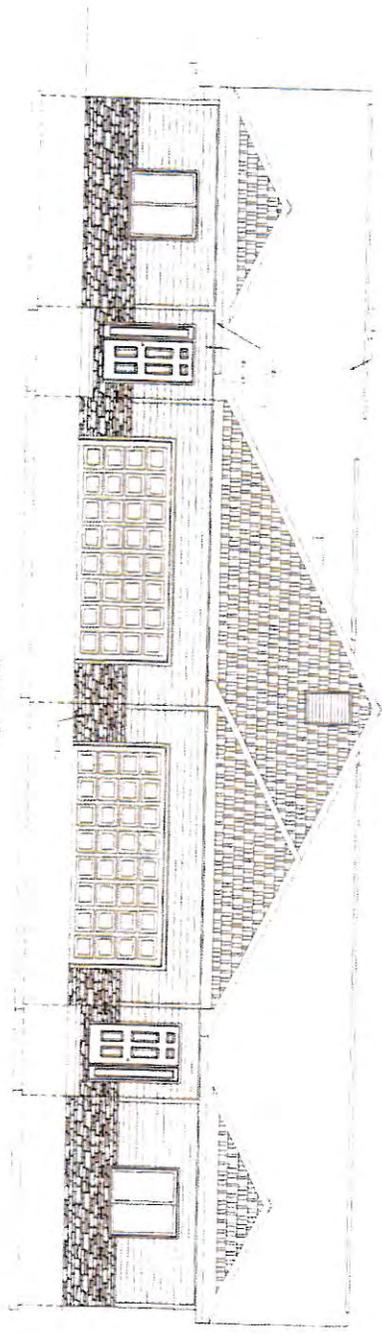


SHEET NUMBER: **C-1**  
 SCALE: 1/8" = 1'-0"

Exhibit "5"

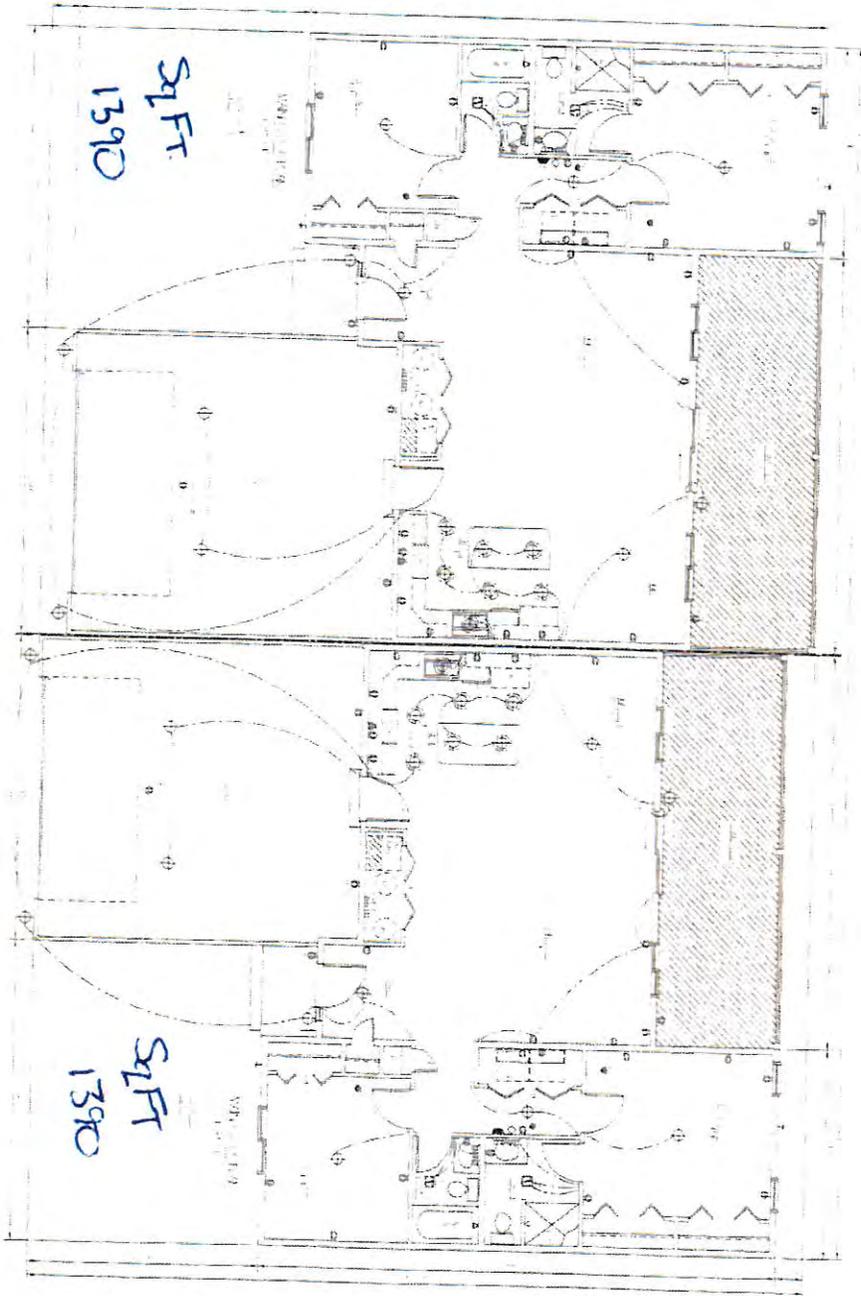
[Elevation and drawings for Market Rate duplex]

Marked Rate



<p>1 OF 5</p>	<p>02/21/16</p>	<p><b>ELEVATIONS</b></p>	<p>NAME: <b>KELBY HERMAN</b>          LOCATION: <b>WAYNE, NE</b></p>	<p>THESE PLANS HAVE BEEN DESIGNED ACCORDING TO OWNER SPECIFICATIONS AND OTHER ALL ENGINEERING TO THE OWNER. A STRUCTURAL ARCHITECT WAS NOT USED IN ENGINEERING THIS PLAN. THEREFORE ALL STRUCTURAL SUPPORTS AND MARKS THIS REFER TO THE CONTRACTOR AND OWNER.</p>	 <p>Architectural          12111 Highway 20          Grand Island, NE 68801          402-333-4444</p>
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Market Rate



Sq Ft  
1390

Sq Ft  
1390

2  
OF  
5

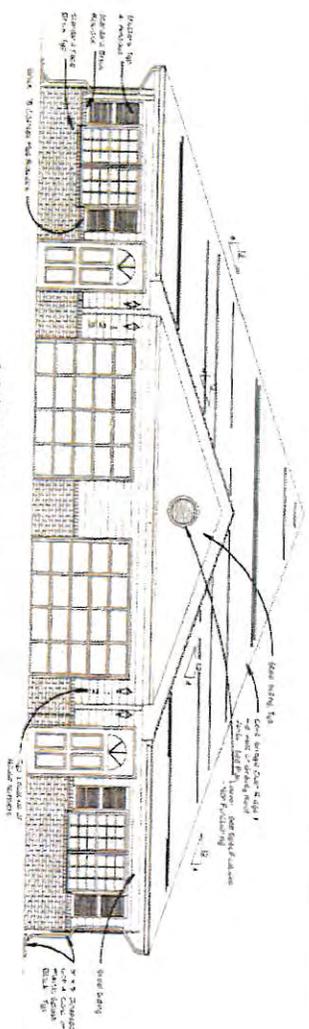
6.2.16

MAIN

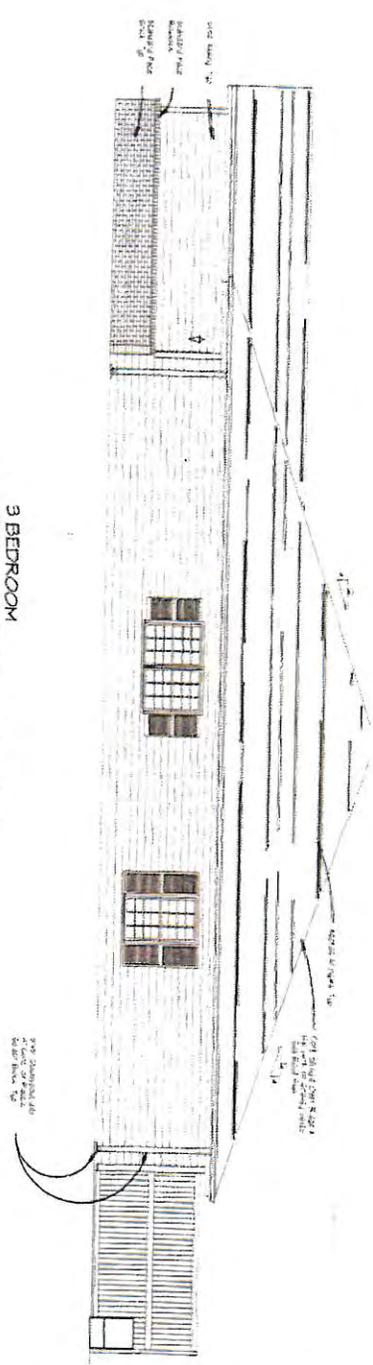
NAME: KELBY HERMAN  
LOCATION: WAYNE, NE

THESE PLANS HAVE BEEN  
DESIGNED ACCORDING TO OWNER  
SPECIFICATIONS AND UNDER ALL  
ENGINEERING TO THE OWNER. A  
STRUCTURAL ARCHITECT WAS NOT  
USED IN ENGINEERING THESE PLANS.  
THEREFORE ALL STRUCTURAL  
SUPPORT AND WARRANTIES REFER  
TO THE CONTRACTOR AND OWNER.

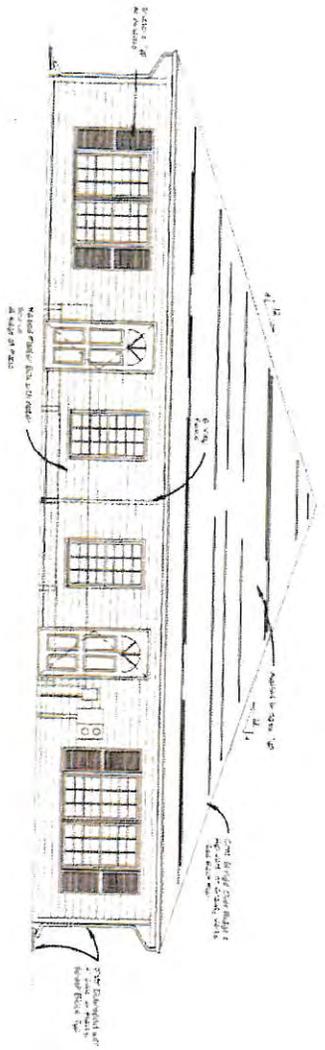




3 BEDROOM  
 FRONT ELEVATION BUILDING 7  
 SCALE 3/16" = 1'-0"



3 BEDROOM  
 SIDE ELEVATION BUILDING 7  
 SCALE 3/16" = 1'-0"



3 BEDROOM  
 REAR ELEVATION BUILDING 7  
 SCALE 3/16" = 1'-0"

**HTK** ARCHITECTS PA  
 800 S. GARDNER AVE., SUITE 200  
 OMAHA, NEBRASKA 68111  
 P. 781.266.5373  
 www.htkarchitects.com

PRELIMINARY  
 PLANS

DATE: May 22, 2017  
 REVISION DATE:

Southview Estates  
 WWayne, Nebraska  
 Messner Development  
 2604 26th Ave. Central City, NE 68926

SHEET CONTAINS:  
 3 BEDROOM EXTERIOR  
 ELEVATIONS  
 HTK PROJECT NUMBER:  
 SHEET NUMBER:  
**A4**  
 ORIGINAL CONSULT DOCUMENTS

**RESOLUTION NO. 2017-65**

**BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF WAYNE, NEBRASKA:**

Section 1. That at a meeting of the Mayor and Council held June 6, 2017, there was created Street Improvement District No. 2017-01 by passage and adoption of Ordinance No. 2017-11.

Section 2. Notice of the right of remonstrance by owners of property affected by the creation of Street Improvement District No. 2017-01 for a 20-day period following publication of such Notice and of a hearing on the matter of the Street Improvement District was published in the Wayne Herald newspaper on June 22, 29, and July 6, 2017, as provided by law.

Section 3. That no written objections were filed in the office of the City Clerk of the City of Wayne, Nebraska, within said 20-day remonstrance period as provided by law and said published notice.

Section 4. That all things having been done relative to the creation of Street Improvement District No. 2017-01, the City has the authority to construct the improvements as set out in Ordinance No. 2017-11 creating said Street Improvement District No. 2017-01, and the City shall proceed with the completion of the construction of the said improvements in accordance with the plans and specifications as prepared by the City's Engineer for such improvements, and all prior actions of the Mayor and City Council and of the City of Wayne relative to said street improvements taken previous hereto, be and hereby are in all respects, ratified approved and confirmed.

PASSED AND APPROVED this 18<sup>th</sup> day of July, 2017.

THE CITY OF WAYNE, NEBRASKA

By \_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

[Back to Top](#)

**HARDER & ANKENY, P.C.**  
Certified Public Accountants  
223 N. Main Street  
P.O. Box 311  
Wayne, Nebraska 68787

Michelle D. Harder, CPA  
Joel G. Ankeny, CPA

(402) 375-3283  
(402) 375-3384 Fax

July 10, 2017

To Whom It May Concern:

A question was raised on how our office determines if a client's charitable gift is eligible as an itemized deduction.

The first thing that is done is to determine if the entity receiving the charitable gift is a qualified organization. Churches and governments are organizations that we do not have to do any research to determine their eligibility. If there is a question on the eligibility of other organizations we can go to the IRS.gov website to determine if the entity is a qualified organization.

If the charitable gift to a qualified organization is less than \$ 250.00 we will take the deduction on the client's income tax return because a canceled check would be the only supporting documentation needed. If the charitable gift is \$ 250.00 or more we request our client to present a document from the qualified organization that they indeed received a charitable gift from our client and that no goods or services was received by our client for the gift. If our client does not have the required documentation when we begin preparing their tax return our office will send the client back to the qualified organization to get the required documentation. When our client provides us with the required documentation we will report the charitable gift as an itemized deduction on their tax return. We require our client to do this because without the required document from the qualified organization the charitable gift is not eligible as an itemize deduction per Internal Revenue Service regulations. Our office takes an additional step by making a copy of the document our client received from the qualified organization and places it in their file as a permanent record.

If there any additional questions or comments please let us know and will be happy to respond.

Thank you very much.

Sincerely



Joel Ankeny/For the firm

### Wayne Country Club Club House

Legal Description: A parcel of ground in the Southwest Quarter of the Southwest Quarter of Sec. 6 Township 26 North, Range 4 East of the 6<sup>th</sup> PM, further described as:

Commencing at the Southwest corner of the SW1/4 of Sec. 6 T26N, R4E,

Thence, N° 87 41' 36" E along the south section line a distance of 923.1 feet to the Southwest corner of a parcel deeded to the Wayne Country Club and recorder in Book 33 Page 193, Wayne County

Thence, N° 01 53' 48" W 350.0 feet along the west line of said parcel to the Northwest corner of said parcel to the Point of Beginning

Thence, S° 13 56' 12" W a distance of 87.74 feet along the westerly line of a parcel deeded to the Wayne Country Club and recorded in Book 48 Page 473 to a point

Thence, S° 44 58' 53" E a distance of 93.58 feet to a point

Thence, N° 45 01' 07" E a distance of 124.05 feet to a point

Thence, N° 44 58' 53" W a distance of 93.58 feet

Thence, S° 87 50' 24" W a distance of 66.64 feet along the north line of a parcel deeded to the Wayne Country Club and recorder in Book 33 Page 193, Wayne County, to the Point of Beginning

Containing 14,417 Square Feet more or less



**RESOLUTION NO. 2017-66**

**A RESOLUTION APPROVING SECOND MEMORANDUM OF UNDERSTANDING BETWEEN THE CITY OF WAYNE AND THE WAYNE COUNTRY CLUB, INC.**

WHEREAS, the City of Wayne (City) is desirous of entering into a second Memorandum of Understanding with the Wayne Country Club, Inc., (Country Club), a copy which is attached hereto and incorporated herein by reference.

NOW, THEREFORE BE IT RESOLVED, by the Mayor and City Council of the City of Wayne, Nebraska, that the second Memorandum of Understanding between the City and the Country Club is hereby approved, and the Mayor is hereby authorized to execute the same on behalf of the City.

PASSED AND APPROVED this 18<sup>th</sup> day of July, 2017.

THE CITY OF WAYNE, NEBRASKA,

By \_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

## Memorandum of Understanding

This Memorandum of Understanding is entered into this \_\_\_\_ day of July, 2017, by and between the City of Wayne, Nebraska ("City") and Wayne Country Club, Inc. ("Country Club").

WHEREAS, the parties have previously agreed to transfer certain real property where the Country Club clubhouse currently sits from Country Club to City; and

WHEREAS, City plans on renovating the clubhouse, subject to certain contractor qualifications, project specifications, and total price which the City deems reasonable and affordable; and

WHEREAS, City will finance the renovation to the clubhouse; and

WHEREAS, Country Club desires to contribute/donate to City to assist in financing the renovation project.

THEREFORE, the parties agree as follows:

1. City shall renovate the clubhouse, subject to certain contractor qualifications, project specifications, and total price which the City deems reasonable and affordable. City, in its sole discretion, shall determine the process of hiring a contractor.
2. City shall finance the clubhouse renovation in its entirety.
3. Upon the City's selection and hiring of a contractor for the clubhouse renovation, Country Club shall provide \$150,000.00 to City to assist in financing the clubhouse renovation.
4. Country Club agrees Country Club or donors shall contribute an aggregate \$100,000.00 to City to assist City in financing the clubhouse renovation on either April 1, 2018 or upon completion of the clubhouse renovation, whichever date is later. This aggregate contribution may be made up of Country Club funds, donations, or a combination thereof.
5. Country Club agrees Country Club or donors shall contribute three additional payments to City to assist in financing the clubhouse renovation. These contributions, which may be made up of Country Club funds, donations, or a combination thereof, shall be made on or before December 31, 2018, December 31, 2019, and December 31, 2020. The amount of each of these contributions shall be one-third of the total cost of the clubhouse renovation project minus the previously-made contributions. For example, if the total cost of the clubhouse renovation is \$400,000.00, and \$250,000.00 has already been contributed by Country Club or donors, Country Club or donors shall make three aggregate \$50,000.00 contributions to the City on or before the aforementioned dates.
6. If City determines the cost of the clubhouse renovation is not reasonable and affordable, City shall transfer the subject real property back to Country Club as quickly as practicable.

Agreed and dated this \_\_\_\_ day of July, 2017.

Wayne Country Club, Inc.

City of Wayne, Nebraska

By \_\_\_\_\_  
Lowell Heggemyer, President

By \_\_\_\_\_  
Ken Chamberlain, Mayor

**ORDINANCE NO. 2017-21**

**AN ORDINANCE ADOPTING AND INCORPORATING BY REFERENCE THE COMPREHENSIVE PLAN FOR THE CITY OF WAYNE, NEBRASKA, AND REPEALING ALL OTHER ORDINANCES, REGULATIONS, AND COMPREHENSIVE PLANS IN CONFLICT THEREWITH.**

BE IT ORDAINED by the Mayor and Council of the City of Wayne, Nebraska:

Section 1. There is hereby adopted and incorporated herein by reference the "Comprehensive Plan" for the City of Wayne, Nebraska. Not less than 3 copies of said Comprehensive Plan, in book form marked or stamped "Comprehensive Plan as adopted by Ordinance No. 2017-22," and to which shall be attached a published copy of this ordinance shall be filed with the City Clerk to be open to inspection and available to the public during regular office hours.

Section 2. The Planning Commission, upon review of the Comprehensive Plan on June 5, 2017, recommended approval thereof, based upon the following "Finding of Fact:"

➤ Staff's recommendation.

Section 3. The existing Comprehensive Plan for the City of Wayne, Nebraska, is hereby repealed.

Section 4. This Ordinance shall be in full force and take effect from and after its passage, approval, and publication according to law.

PASSED AND APPROVED this 18<sup>th</sup> day of July, 2017.

THE CITY OF WAYNE, NEBRASKA

By \_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

**ORDINANCE NO. 2017-22**

**AN ORDINANCE AMENDING TITLE XV LAND USAGE, CHAPTER 152 ZONING (SUPPLEMENTARY DISTRICT REGULATIONS), SECTION 152.139 PARKING REGULATIONS; TO PROVIDE FOR THE REPEAL OF CONFLICTING ORDINANCES OR SECTIONS; AND TO PROVIDE FOR AN EFFECTIVE DATE.**

BE IT ORDAINED by the Mayor and Council of the City of Wayne, Nebraska:

Section 1. That Title XV, Chapter 152, Section 152.139 of the Wayne Municipal Code is hereby amended to read as follows:

**§ 152.139 PARKING REGULATIONS.**

*(A) Parking, storage or use of recreational equipment.*

(1) All recreational equipment shall be parked behind the building line except for a period not to exceed 72 consecutive hours for purposes of loading and unloading. The building line of a residential dwelling on a corner lot fronts the street that the dwelling is addressed to. No recreational equipment shall be used for living, sleeping or housekeeping purposes in excess of 30 days in a 60-day period when parked or stored on a residential lot or on any location not approved for such use.

(2) Council may consider granting a waiver upon individual application for recreational equipment in parking spaces existing prior to the passage and approval of this section and based upon the parking surface and the distance from the street in connection with traffic hazards.

*(B) Minimum off-street parking and loading requirements.*

(1) Off-street motor vehicle parking and loading space shall be provided on any lot, or the terrace adjacent to the lot, on which any of the indicated structures and uses are hereafter established. These requirements are thus only applicable to construction of a new structure (regardless of whether or not another building previously existed on the property), when a structure's use changes from one use (as listed in the schedule of minimum off-street parking and loading requirements in this chapter) to another, or to any existing multiple family structure to which an addition is constructed that results in more dwelling units than existed prior to the addition. Such space, as defined in § 152.010 of this chapter, shall be provided with vehicular access to a street or an alley. A required loading space shall include a ten-foot by 50-foot space with a minimum of 14 feet of height clearance. The loading space shall be so located as to avoid undue interference with public use of streets, alleys and walkways. Minimum off-street parking and loading requirements, which shall be applicable in all zoning districts to the structures and uses indicated, shall be set forth in the following schedule of minimum off-street parking and loading requirements. If minimum off-street parking required in the schedule cannot be reasonably provided on the same lot, or the terrace adjacent to the lot, on which the principal structure or use is conducted in the opinion of the Board of Adjustment, the Board may permit

such space to be provided on other off-street property, provided that such space lies within 400 feet or the entrance to such principal structure or use. Non-residential uses in the B-2 District shall be exempt from these parking and loading requirements.

(2) For purposes of this division, terrace parking shall be considered off-street parking.

(3) Any corner lot located in a residential zoning district shall only use the terrace adjacent to one of the lot's front yards for terrace parking. Terrace parking constructed before May 1, 2013 or designed through a building permit approved by May 1, 2013 shall be exempt from this restriction on a corner lot.

**(4) Shared Parking. In meeting the requirements of the Schedule of minimum off-street parking and loading requirements, adjacent land uses, lots or sites, as well as uses on the same property may share parking under the following conditions and standards:**

**a) All landowners participating in the shared parking shall execute the necessary cross-access easements which shall exist for the duration of the grantee's use to facilitate shared parking and record all documents for the easements with the County unless the uses are on the same property under common ownership.**

**b) A written agreement for the joint use of parking facilities shall be executed by the parties and approved by the City unless the uses are on the same property under common ownership.**

**c) All shared parking spaces shall be within a reasonable proximity of the main entrance of any building sharing the parking and provide direct pedestrian access to the entrance either by way of pedestrian alleys and passes, or by way of public sidewalks in the streetscape. In general, locations greater than 600' shall not qualify unless exceptional circumstances justify.**

**d) Parking requirements shall be the cumulative requirements of the uses sharing the parking, except where different categories of uses (Retail or Service, Employment, Civic, or Residential) are participating in the sharing agreement and are likely to generate distinctly different times of peak parking demand. The following table is a base guide for shared parking. Each use should provide a percentage of parking required by these regulations according to the Shared Parking Schedule below. Whichever time period requires the highest total parking spaces among the various uses should be the amount of parking provided subject to the shared parking agreement. Alternative parking allocations may be approved by the City Council based on industry data or other sufficient evidence and analysis of peak parking demands for specific uses.**



(c) Parking or driveway surface shall have the curb ground or sawed out the entire parking or drive-way width. Exception: when proposed parking is parallel to the curb and there are two approach or driveway curb inlet and outlet ramps.

(d) Parking surfaces located in the terrace shall be large enough and shall be required to have a parking barrier to prevent vehicles from overhanging the curb or sidewalk. The minimum size of a parking stall surface shall be a nine-foot by 20-foot rectangle.

(e) Terrace parking shall not interfere with the intersection site triangle of this code.

(f) Driveway surfaces shall include all of the terrace right-of-way from the street back of curb to the property line.

(g) Terrace parking and driveway surfaces shall be excavated a minimum of four inches deeper than the surrounding terrain or unpaved surface.

(h) Parking or driveway surfaces at the back of curb line shall be excavated to the same depth as the abutting street depth a minimum of 12 inches wide the entire width of the parking surface or driveway.

(i) Parking or driveway surfaces shall be placed on a minimum of two inches of compacted sand or gravel material.

(j) Proposed parking or driveway surface property owner shall first obtain a curb grind permit and/or driveway apron construction permit.

(2) *Interior of the lot.*

(a) Parking or drive surfaces interior of the property shall be material other than dirt, grass or weeds, as identified below:

1. Concrete;
2. Asphalt;
3. Bricks;
4. Concrete pavers;
5. Aggregate (but not pea gravel, road gravel, sand or other aggregates symmetrical or round in nature less than one and one-half inches in diameter);
6. Fractured concrete; and
7. Cinders.

(b) All of the above materials (except divisions (C)(2)(a) and (C)(2)(b) above) shall be contained within a suitable barrier of sufficient height (e.g., landscape timber, railroad ties, landscaping blocks, lumber, but excluding tires) that retain the material, and shall conform to the abutting surface topography, sufficiently anchored to resist movement, and must retain the parking surface material from spreading into the street, alleys or abutting vegetative areas.

(c) No weeds, grass or other vegetation shall be allowed within the defined area of parking or driveway surfaces.

(d) Entire parking or driveway surface shall be evenly surfaced or covered so that at no time is the underlying dirt visible.

(D) *Asphalt, concrete.* Any new single family type residential dwellings built after 6-15-2006 shall have all driveway areas and parking areas constructed of asphalt or concrete.

(E) *Curb ground, drive surface.* All driveway entries from the paved street shall have the curb ground or removed and a drive surface installed to the front property line.

(F) *Design standards for parking lots.*

(1) *Definitions.* For the purpose of this division (F), the following definitions shall apply unless the context clearly indicates or requires a different meaning.

~~**NON-PERMANENT PARKING SURFACES.** Any surface other than bare dirt, grass or weeds, but is aggregate in nature (i.e., crushed limestone, red granite, crushed concrete, slag or other material that cannot be displaced or easily moved by storm water run off) and shall be conditionally approved for a specified time period by the Zoning Administrator.~~

**PERMANENT PARKING SURFACES.** Any of the four surfaces allowed in division (F)(4)(b) below.

(2) *Drainage.*

(a) All permanent parking lots shall be designed to develop proper site drainage. Proper site drainage is required to dispose of all storm water that is accumulated on the site.

(b) If a new permanent parking lot containing 6,000 square feet or more is located within 150 feet or reasonably accessible to a storm sewer or other drainageway, including open channels and creeks, but excluding gutters, the following standards shall apply:

1. The permanent parking lot must be graded and surfaced such that storm water runoff from the site is collected on the site by a parking lot drainage system and carried to an approved public storm sewer system, and not allowed to discharge through the driveway entrances and exits onto the public way. Proposed finish elevation of the parking lot must be indicated on appropriate plans; and

2. All parking lots shall be graded as to eliminate standing water on site to reduce or eliminate the silt run off from the lot onto the street or into the public storm water conveyance system. Non-permanent parking surfaces shall only be allowed that do not cause silt or other debris to travel onto the street or into the public storm water conveyance system, providing that no vegetation growth occurs interior of parking surfaces (i.e., weeds or other volunteer growth).

(3) *Parking barriers.*

(a) *Required.* Approved parking barriers must be provided around parking lots to prevent the parking of vehicles overhanging the sidewalk space, public alley or other public property and adjacent residential property. Approved barriers are also required as necessary to protect any required landscaping or landscape screen planting.

(b) *Approved barriers.* Approved barriers include the following type of barriers. Other barriers may be approved, subject to the approval of the city:

1. Poured concrete curb, nominal six inches by six inches exposed;
2. Fence (minimum 30-inch height), wire fabric, solid wood, post and rail;
3. Masonry or concrete wall (minimum 30-inch height);
4. Guard rail;
5. Post and cable; and
6. Precast concrete barriers, firmly and permanently anchored.

(c) *Location.* Barriers must be located to contain the parking within the approved parking lot. When a concrete curb is used as a barrier for perpendicular or angle parking, it must be offset at least two feet from the edge of the parking lot to allow for the front overhang of the vehicle. Other type barriers may be located at the edge of the parking lot.

(4) *Parking layout and markings.*

(a) The developer shall submit to the city for review and approval, a detailed and accurately scaled parking lot layout, clearly showing the location of parking spaces and aisles, all conforming to city standards. Upon construction of the parking lot, the parking spaces must be marked on the parking lot surface according to city standards to the extent that those spaces are required in connection with a development. Spaces not required for a development need not be marked, or may be marked to lesser standards. Handicapped parking stalls required by state statutes shall be designed and signed per ADA standards.

(b) All permanent parking lots shall be surfaced with one of the following minimum cross sections:

1. Five inches of Class A portland cement concrete;
2. Six inches of asphaltic concrete;
3. Four inches of aggregate (i.e., crushed rock, crushed concrete, slag or other material that cannot be displaced or easily moved by storm water run-off); and
4. Paving bricks or blocks, subject to approval of the city.

(5) *Surfacing.* The non-permanent parking lot may be surfaced as approved by the city, and shall be maintained in a dust free condition. It should be noted that the above alternatives are designed only to serve as minimum standards. In situations where moderate to heavy truck loads are anticipated, the structural load capacity of the surfacing should be analyzed and designed accordingly. In such instances, a thicker or reinforced section may be desirable.

(6) *Schedule of minimum off-street parking and loading requirements.*

<i>Structures and Uses</i>	<i>Minimum Off-Street Parking Regulations</i>	<i>Minimum Off-Street Loading Requirements</i>
Bed and breakfast guest home	1 space per <del>2</del> rental guest rooms	None
Bowling alleys	<del>4</del> 4 spaces per alley	1 space per establishment
Child care centers	1 space per employee <b>plus 1 space per each 10 persons of licensed capacity</b>	1 space per 10 children
Churches, synagogues and temples	1 space per 4 seats in main unit of worship	None required
<b>Domestic shelters</b>	<del>1 space for every 4 residents plus 1 space per 2 employees</del>	<b>None required</b>
Eating and drinking places	Parking spaces equal to 30% of capacity in persons	<del>2</del> 1 spaces per establishment
Education uses	Parking spaces equal to 40% of capacity in students	2 spaces per structure
Education uses, nursery and primary	Parking spaces equal to 20% of capacity in students	2 spaces per structure
Funeral homes and chapels	8 spaces per reposeing room	<del>2</del> 1 spaces per establishment
Hospitals	1 space per 2 beds	<del>3</del> 2 spaces per establishment
<b>Hotels &amp; Motels</b>	1 space per <del>2</del> rental units	1 space per establishment
Industrial uses	1 space per 2 employees on largest shift	2 spaces per establishment
Libraries	1 space per 500 square feet floor area	1 space per structure

<i>Structures and Uses</i>	<i>Minimum Off-Street Parking Regulations</i>	<i>Minimum Off-Street Loading Requirements</i>
Medical clinics	5 spaces per staff, doctor or dentist	None required
Mobile home park	2 spaces per dwelling unit	None required
<b>Motels</b>	<b>1 space per rental unit</b>	<b>None required</b>
Private clubs and lodges	1 space per 500 square feet floor area	1 space per establishment
Residential structures (multiple family and townhouse)	<b>1 space per sleeping room, plus 1 space per dwelling unit</b>	None required
Residential structures (single-family and two-family)	2 spaces per dwelling unit	None required
Retail sales establishment	1 space per <del>200</del> 250 square feet sales floor area	1 space per establishment
Roadside stands	4 spaces per establishment	None required
Sanitariums, rest home service, convalescent	1 space per 3 beds, plus 1 space per employee	1 space per establishment
Service establishment	1 space per <del>200</del> 350 square feet gross floor area	<del>1 space per establishment</del> <b>None required</b>
Theaters, auditoriums, places of assembly	1 space per 5 people in design capacity	1 space per establishment
Veterinary establishment	3 spaces per staff doctor	None required
Wholesale and distribution operations	1 space per 2 employees on largest shift	<del>2 spaces per establishment</del> <b>1 space for every 10,000 s.f. gross floor area with a maximum of 2 spaces</b>

(2002 Code, § 90-710) (Ord. 93-11, passed 9-28-1993; Ord. 2001-19, passed 11-27-2001; Ord. 2002-17, passed 12-17-2002; Ord. 2006-10, passed 9-12-2006; Ord. 2007-26, passed 1-15-2008; Ord. 2009-17, passed 7-21-2009; Ord. 2012-60, passed 12-18-2012; Ord. 2013-11, passed 2-19-2013; Ord. 2013-29, passed 6-18-2013; Ord. 2014-37, passed 12-16-2014)

Section 2. The Planning Commission, upon review of the Comprehensive Plan on June 5, 2017, recommended approval thereof, based upon the following "Finding of Fact:"

➤ Staff's recommendation.

Section 3. All ordinances or parts of ordinances in conflict herewith are hereby amended and repealed.

Section 4. This ordinance shall take effect and be in full force from and after its passage, approval, and publication or posting as required by law.

PASSED AND APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

THE CITY OF WAYNE, NEBRASKA

By \_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

**ORDINANCE NO. 2017-24**

**AN ORDINANCE TO AMEND SECTION 78-133 OF TITLE VII TRAFFIC CODE, OF THE WAYNE MUNICIPAL CODE RELATING TO RESTRICTED PARKING 12:00 MIDNIGHT TO 5:00 A.M.; SOUTHWEST QUADRANT OF THE CITY; TO PROVIDE FOR THE REPEAL OF CONFLICTING ORDINANCES OR SECTIONS; AND TO PROVIDE FOR AN EFFECTIVE DATE.**

BE IT ORDAINED by the Mayor and Council of the City of Wayne, Nebraska.

Section 1. That Chapter 78, Title VII, Section 78-133 of the Municipal Code of Wayne, is hereby amended as follows:

**§ 78-133. Restricted parking 12:00 midnight to 5:00 a.m.; southwest quadrant of the city**

(a) No person shall, at any time, park a vehicle between the hours of 12:00 midnight and 5:00 a.m. upon any of the following described streets or parts of streets:

(1) No person shall, at any time, park a vehicle between the hours of 12:00 midnight and 5:00 a.m. upon any of the following described streets or parts of streets:

The east side of the centerline of Sherman Street from the south line of West Fourth Street south to the north line of West Third Street
The north side of the centerline of West Third Street from the north-south alley between Pearl Street and Lincoln Street west to the east line of Oak Drive
The north side of the centerline of West Fifth Street from the west line of Main Street west to the east line of the elementary school
The north side of the centerline of West Second Street from the west line of Pearl Street to the east line of Blaine Street
The north side of the centerline of West Sixth Street from the north-south alley between Main Street and Pearl Street west to the east line of Sherman Street
The north side of the centerline or Grainland Road from the west line of Sherman Street west to the city limits
The north side of the centerline of Third Avenue from the west line of Oak Drive west to the city limits
The north side of the centerline of West Fifth Street from the west line of Main Street west to the east line of the elementary school
The west side of the centerline of Blaine Street from the south line of West Second Street south to the north line of Grainland Road
The west side of the centerline of Sherman Street from the south line of West Seventh Street south to the north line West Fourth Street and from the south line of West Third Street south to the north line of Grainland Road

The west side of the centerline of Douglas Street from the south line of West Seventh Street south to the city limits

**The north side of the centerline of Clark Street from the west line of South Main Street west to the east line of South Pearl Street**

(b) Appropriate signs shall be placed to advise the public of these prohibited parking regulations.

Section 2. The original Section and any other sections in conflict with this ordinance are hereby repealed.

Section 3. This ordinance shall take effect and be in full force from and after its passage, approval, and publication or posting, as required by law.

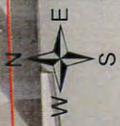
PASSED AND APPROVED this \_\_\_\_ day of \_\_\_\_\_, 2017.

THE CITY OF WAYNE, NEBRASKA

By \_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk



S. Main Street

Clark Street

S. Pearl Street



**ORDINANCE NO. 2017-25**

**AN ORDINANCE TO AMEND SECTION 78-174 OF TITLE VII TRAFFIC CODE OF THE WAYNE MUNICIPAL CODE RELATING TO TRUCK PARKING; WHERE DESIGNATED; TO PROVIDE FOR THE REPEAL OF CONFLICTING ORDINANCES OR SECTIONS; AND TO PROVIDE FOR AN EFFECTIVE DATE.**

BE IT ORDAINED by the Mayor and Council of the City of Wayne, Nebraska:

Section 1. That Chapter 78, Title VII, Section 78-174 of the Wayne Municipal Code is amended as follows:

§ 78-174. TRUCK PARKING; WHERE DESIGNATED

(A) No chassis-cab, step-van or semi-tractor or semi-trailer style vehicle(s) shall be parked on any public street or on any private property in any of the R-1 through R-5 Zoning Districts between the hours of 9:00 p.m. and 7:00 am. Except for temporary loading and/or unloading, the parking of semi-trailers in any R-1 through R-5 Zoning District is prohibited.

(B) (1) The following locations are designated as Truck Parking Areas:

200 Block of East 2<sup>nd</sup> Street

~~North side of West Clark Street~~

South 150 feet of the 100 Block of South Pearl Street

(2) Vehicles of the type described above are allowed to park on the designated truck parking areas not to exceed 72 consecutive hours. It shall be unlawful to park any chassis cab, step van, or semi-tractor or semi-trailer style vehicle(s) on any public street or on private property in any R-1 through R-5 Zoning Districts overnight, except for emergencies. Any person violating this section shall be subject to the penalty provisions of § 10.99 and the presumption set forth in § 78-122 shall be applicable.

(C) A truck driver or owner may request temporary permission to park a chassis cab, step-van or semi-truck tractor overnight in an R-1 through R-5 Zoning District for special circumstances, (e.g. grain harvest season). Such temporary permission would be granted by the City Police Department on a case by case, day by day basis.

(D) For the purpose of this ordinance the following definitions apply:

**CHASSIS CAB.** Any motor vehicle shipped from the manufacturer with a cab on chassis only having four or more drive wheels or two or more drive axles upon which an aftermarket manufacturer has or may install a customized van box, dump box, cement mixer, wrecker body, tool box or similar configuration and having a wheelbase of 120 inches or more.

**SEMI-TRAILER.** Any cargo, flatbed, or van trailer designed specifically to be pulled by a truck tractor and/or power unit and which is over 30 feet in length.

**SEMI-TRUCK.** Any truck tractor or power unit with one or more drive axles or eight or more drive wheels designed for the express purpose of pulling a semi-truck trailer and/or pup-trailer more than 30' in length.

**STEP VAN or WALK-IN-VAN.** Any manufactured motor vehicle so configured as to allow the driver to step up or walk into the extra tall cab, and/or which allows the driver access to the cargo area without having to leave the vehicle and which driver and/or passenger doors slide back and forth to close and whose primary design intent is to haul cargo, freight, or equipment and/or serve as a pickup and delivery vehicle with a wheelbase of 120 inches or more.

Section 2. All Ordinances or parts of Ordinances in conflict herewith are repealed.

Section 3. This Ordinance shall be in full force and effect after its passage, approval, and publication as provided by law.

PASSED AND APPROVED THIS \_\_\_\_ day of \_\_\_\_\_, 2017.

THE CITY OF WAYNE, NEBRASKA

By \_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk